

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
SEPTEMBER 12, 2016**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider approval of the August 22, 2016 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF AN AMENDMENT TO CONDITIONAL USE PERMIT #98-08** for the request of Robert Barolak, President of Prairie Ridge Harmony Housing, LLC to allow for 121 senior apartment units within the building rather than 120 as a result of a conversion of a common area on the 3rd floor of the Prairie Ridge Senior Campus for a senior residential apartment unit located at 7900 94th Avenue.
 - B. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** for the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval to amend The Bulls Eye Commercial Development Planned Unit Development (Chapter 420 Attachment 3, Appendix C Specific Development Plan #41 in the Village Zoning Ordinance) for the properties located at 9330 and 9370 76th Street within the Prairie Ridge development. Specifically the PUD is proposed to be amended to allow for the parking lot setback to be a minimum of 19 feet from the property line adjacent to STH 50 (75th Street) rather than 20 feet.
 - C. Consider the request of Michael Greany for approval of **Site and Operational Plans** for Kem Krest to occupy the entire 275,000 square foot building located at 9801 80th Avenue in LakeView Corporate Park for the warehousing and distribution of motor cycle parts and accessories (engine heads, seats, handle bars, handle bar grips, foot pegs, pistons, wheel rims, windshields etc.) and packaging materials (boxes, tape, film, bubblewrap, microfoam, and stretchwrap, etc).
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
August 22, 2016**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on August 22, 2016. Those in attendance were Thomas Terwall; Michael Serpe; Wayne Koessl; Deb Skarda; Jim Bandura; Judy Juliana; Bill Stoebig; John Skalbeck (Alternate #1); and Brock Williamson (Alternate #2). Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; Peggy Herrick, Assistant Village Planner and Zoning Administrator; and Kristina Tranel, Community Development Department.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE AUGUST 8, 2016 PLAN COMMISSION MEETING MINUTES.**

Jim Bandura:

Move for approval.

Bill Stoebig:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY BILL STOEBIG TO APPROVE THE MINUTES OF THE AUGUST 8, 2016 PLAN COMMISSION MEETING AS PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If you wish to make a comment on an item that either appears on the agenda or is not on the agenda now would be your opportunity to do so. We'd ask that you step to the microphone and begin by giving us your name and address. Is there anybody wishing to speak under citizens' comments? Seeing none, we'll go ahead then to New Business.

6. NEW BUSINESS

- A. Consider the request of John Doheny, agent for approval of Preliminary Site and Operational Plans for the mass grading, installation of underground utilities and footings and foundations for the construction of a 175,000 square foot industrial building on the vacant land located on the southeast corner of STH 165 (104th Street) and 80th Avenue in LakeView Corporate Park.**

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission, this is the request of John Doheny, agent, for approval of Preliminary Site and Operational Plans for the mass grading, installation of underground utilities and footings and foundations for the construction of a 175,000 square foot industrial building on the vacant land located on the southeast corner of Highway 165 or 104th Street and 80th Avenue in LakeView Corporate Park.

The second item related to this which is the next item, Item B on the agenda, and I'll ask that the Plan Commission take up that item as well at this time.

Tom Terwall:

Is there a motion to that effect?

Wayne Koessler:

Mr. Chairman, I move that we take Items A and B and have separate votes on them.

Tom Terwall:

Is there a second?

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO TAKE ITEMS A AND B TOGETHER WITH SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

B. Consider the request of Matt Carey, PE, agent on for approval of a Certified Survey Map for the property located at the southwest corner of STH 165 (104th Street and 80th Avenue) in LakeView Corporate Park.

Jean Werbie-Harris:

So the second item on the agenda, Item B, is related to this project, and that is to consider the request of Matt Carey, PE, agent for approval of the Certified Survey Map for the property located at the southwest corner of Highway 165, 104th Street and 80th Avenue in LakeView Corporate Park. The items are related and discussed at the same time. However, separate action will be required.

The petitioner, Doheny Enterprises, Inc., is requesting to obtain Preliminary Site and Operational Plans approval to begin the development of the southeast corner of Highway 165 and 80th Avenue for the construction of a 175,000 square foot building and associated on-site improvements. The Final Site and Operational Plans pursuant to the requirements of the Village Zoning Ordinance will need to be submitted for review and approval to the Plan Commission prior to issuance of the full building permit. In addition, the petitioner is requesting approval of a Certified Survey Map for the development property.

Doheny's is a leader in the swimming pool supply industry with ten distribution centers nationwide. Doheny's has been in the City of Kenosha for 20 years and currently occupies three warehouses there with plans to consolidate those locations into a single distribution center in Pleasant Prairie. Doheny's sells swimming pool supplies to the consumer and commercial markets via catalogs, websites, outbound telemarketing and a local retail pool store. The primary function of the proposed distribution center is to house the contact center and for warehousing functions of pick, pack and shipping via FedEx, UPS, and common carrier. The company will not manufacture or assemble any items at this facility, and it will act solely as a storage of dry finished goods. The company is seasonal with peak employment and inbound outbound shipping traffic during the warmer months of the year.

The proposed project is to construct a new 175,000 distribution building on the vacant lot to be located at the southeast corner of 80th Avenue and 104th Street. Construction will start in the fall of 2016 with a completion in 2017.

The anticipated hours for operation are from 8:00 a.m. to 5:00 p.m. and 6:00 a.m. to 10:00 p.m. during peak season. The contact center will run Monday through Friday from 8:00 a.m. to 6 p.m. for non-seasonal months, October through February, and Monday through Friday from 6:00 a.m. to 10:00 p.m. and Saturday and Sunday 8:00 a.m. to 5:00 p.m. for its peak season which is March through September.

The warehouse will operate Monday through Friday from 8:00 a.m. to 6:00 p.m. for non-seasonal months which, again, is October through February, and Monday through Friday 6:00 a.m. to 8:00 p.m. and Saturday and Sunday 8:00 a.m. to 1:00 p.m. for its peak season March through September. The products stored at this facility will be swimming pool supplies that include swimming pool chemicals, pool equipment, and accessories.

Preliminary Site and Operational Plans: Approval of the Preliminary Site and Operational Plans will allow the petitioner to begin mass grading, to install underground utilities and to construct footings and foundations for the construction of 175,000 square foot industrial building.

Building Setbacks: The M-2, General Manufacturing District requires that the building meet the following minimum setback requirements:

- Street setback: minimum of 65 feet from 104th Street or the State highway.
- Side and rear setback: 45 feet minimum.
- Wetland setback: 25 feet from any wetlands on the property.

Setback for parking areas which includes parking spaces, maneuvering lanes and fire lanes are measured from the back of curb shall meet the following minimum requirements:

- A minimum of 20 feet setback from the front State Highway 165 and 80th Avenue rights-of-way.
- A minimum of 20 feet setback from other private roadways or drives to the side and rear lot lines.
- In addition, parking areas shall not be located within any easements unless express written approval is allowed and provided by the easement holder.

Site Access and Parking: Employee, client, visitor vehicular and truck access to the site will be a northern driveway on 80th Avenue for passenger vehicles and a shared drive with Pfizer to the south on 80th Avenue for truck traffic.

Pursuant to the Village Zoning Ordinance the minimum on-site parking spaces for a warehouse/distribution center is based on one space for every two employees during any 12 hour period and the required number of handicapped accessible parking spaces pursuant to the State Code.

Doheny employs 55 full-time employees and 140 seasonal employees on its peak day. Pursuant to the Village Zoning Ordinance, the minimum number of parking spaces would be 70, not including the handicapped accessible spaces. The plan includes 208 automobile parking spaces which exceeds the Village requirements.

Public Sewer and Water: The development shall be served by public sanitary sewer and water. The sanitary sewer and water is located on 80th Avenue.

Open Space, Storm Water Retention and Landscaping: The M-2 District requires that at a minimum, 25 percent of the site must be open space. Verification of the amount, the area and percentage of open space on the site shall be provided on the preliminary plans.

The site is mostly vacant at this time. There are two existing retention ponds located on the west side of the site near 80th Avenue. Due to a highpoint along the center of the site, storm water in the northern half of the site is conveyed to the northwest pond, and storm water in the southern half is conveyed to the southwest pond. The 1995 report by the consulting firm HNTB confirms that the roof drainage from the building to the south drains south to a separate storm water pond, not to the two ponds on this site.

It was further discovered that the size, and therefore storage volume, of the two ponds on site are smaller than what was proposed originally on the plans. So Pinnacle Engineering Group determined that modifications to each pond are necessary to keep the same pond configuration and the storage volume. Upon preliminary approval of the Civil Plans, Pinnacle Engineering will finalized the full Storm Water Management Plan for the Village's review and approval. And we do have the engineer here from Pinnacle if you have any questions pursuant to that.

The second item related to this project is the Certified Survey Map: The Village staff recommends that the CSM be revised to create an outlot surrounding the existing retention basin shown on Lot 1 since this basin serves several surrounding properties, and the maintenance and associated costs are likely a shared expense. Let me add to that that the seller of the land and the property purchaser, Doheny, are working through that agreement and discussion right now as to whether that new outlot will be owned by them or by the association for the LakeView Commercial Owners Association. So they are working through that detail right now.

In addition if it does identify itself as a separate outlot, then the petitioners shall request a Zoning Map Amendment to rezone that outlot into the PR-1 Park and Recreational District as all of the ponds on separate outlots are located within the PR-1 District in the Village. In addition, they'll need to do an amendment to the Village's Comprehensive Plan to place the outlot within the open space land use designation.

The CSM indicates that there are some wetlands on the property. The petitioner is seeking an artificial wetland exemption from the Wisconsin Department of Natural Resources to allow those wetlands to be filled. That was actually created at the time of the mass grading out there. And so they're working through that process. They've just made that submittal. If this approval is obtained from the DNR, a copy of that approval shall be provided to the Village and the wetlands as shown on the CSM shall be then removed. I'd like to introduce the owner, the architect representatives here to add any additional comments that they would like to.

Jim Brucato:

My name is Jim Brucato from Principle Construction. We're the design build general contractor that will be building the facility for John Doheny. I've also brought Werner Briske from Partners in Design, Matt Carey from Pinnacle Engineering who are a part of our design team. I think that was a very detailed summary of the project. And I'd like to start by thanking you for taking this extra step to do the preliminary site and operational review and approval. We appreciate that.

John Doheny's business was established in '67, a family business. And they are now nationwide, ten distribution facilities throughout the nation. Main headquarters here. John lives in Lake Forest as well as in Wisconsin for half of the year as well so his roots are here. I started this

project with John in 2008. The economy directed us differently for a while. But their business is a very, very solid, sound business. And they are growing in leaps and bounds. As you can see there are three different facilities right now.

Operationally it's very difficult for them. And it's been a dream of John's to pick the facility that they're in now, we looked at expanding that. It just wouldn't withstand the growth potential that they had. So we've looked and looked, and here we are. They found the lot in LakeView, and John is extremely pleased to be there. There are some details to work out as we discussed earlier. They are in that process. And, again, I want to thank you for moving the process along on behalf of John. He's excited to move into Pleasant Prairie.

Tom Terwall:

Thank you very much.

Jim Brucato:

Thank you.

Jean Werbie-Harris:

Did you say that the company's headquarters will be here in Pleasant Prairie then, too? And when did the company start?

Jim Brucato:

[Inaudible] John took it and then went to a digital platform as of the era of the internet and grew the company in leaps and bounds. So he's been doing wonderful. Thank you.

Tom Terwall:

Thank you. What's your pleasure? Comments or questions?

Michael Serpe:

Jim, could I ask you a question? Most of the chlorine and stuff is that delivered in bulk delivery, or is it process in house, how do you handle that?

Jim Brucato:

So it's all consumer packaging. John does not package, does not repackage, does not break down. None of the packaging gets broken up. It is exactly what you will see in a Walmart, a Target, it's the one pound package. And so all John does is distribute that product, one of the many products they distribute along with the pool toys, equipment, cleaners, covers, those types of things.

Tom Terwall:

Do you do liquid chlorine as well?

Jim Brucato:

Liquid did you say?

Tom Terwall:

Yes.

Jim Brucato:

I don't believe he does. I don't believe he does. I think it's all granular, but I can verify that for you. And I know we've been working with the fire department, the outside consultant that the municipality had as well, the fire safety consultant to establish the fire protection system that we're going to install, make sure that's all in accordance with NFPA. One of the things that John -- that was one of the very first things that we discussed. And they're governed by a lot of the DOT regulations. So that actually is even more restrictive than even the NFPA as well.

Tom Terwall:

Thank you. Any other comments or questions?

Brock Williamson:

Do they have any interest in expanding the business beyond the products they're doing right now at the new facility? Or are they going to stick in the line of what they do.

Jim Brucato:

I can't answer directly to that. But I think their intention for expansion is the products that they have just continued growth of those product. I don't believe they're going to be selling the actual pools, any day soon they won't be sitting out in the lot I promise. That I do know. John does not want to get into selling the pools.

Tom Terwall:

Thank you.

Jim Brucato:

Thank you.

Tom Terwall:

Anything else?

Wayne Koessl:

Mr. Chairman, if there aren't any further questions I'd move that the Plan Commission approve the Site and Operational Plans subject to the comments and conditions of the Village staff report of August 22, 2016.

Jean Werbie-Harris:

These are just the Preliminary Site and Operational Plans, and they're going to come back this fall with the Final Site and Operational Plan.

Michael Serpe:

I'll second it.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY MICHAEL SERPE TO GRANT THE PRELIMINARY SITE AND OPERATIONAL PLAN APPROVAL AS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Michael Serpe:

Move approval of the Certified Survey Map.

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE THE CSM FOR THE PROPERTY LOCATED AT THE SOUTHWEST CORNER OF STATE HIGHWAY 165 AND 80 AVENUE SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Thank you.

- C. Consider the request of Paul Schmitter, agent for CenterPoint WisPark Land Company LLC, owner of the vacant property generally located on the east side of 80th Avenue and north of Springbrook Road for time extension related to the conditionally approved Site and Operational Plans for the construction of a 417,384 square foot speculative industrial building and related site improvements.**

Jean Werbie-Harris:

Item C is to consider the request of Paul Schmitter, agent for CenterPoint WisPark Land Company LLC, owner of the vacant property generally located on the east side of 80th Avenue and north of Springbrook Road for a time extension related to the conditionally approved Site and Operational Plans for the construction of a 417,384 square foot speculative industrial building and related site improvements.

On March 14, 2016, the Plan Commission conditionally approved Site and Operational Plans for the petitioner to develop the vacant parcel located on the east side of 80th Avenue and north of Springbrook Road for the construction of a 417,384 square foot speculative industrial building.

The petitioner has been working with the Wisconsin Department of Natural Resources and the U.S. Army Corps of Engineers to obtain a permit to fill a small wetland area on the site. I don't know if you can tell, but it's kind of directly north of that blue star. There's like a little finger that juts down from that wetland area just south of IRIS.

While the petitioner has recently obtained approval of the Army Corps of Engineers and they are awaiting approval from the DNR. Therefore the petitioner is requesting an extension to satisfy the conditional Village approval and obtain the required building permits. So we are requesting the Plan Commission just because we're going to be coming into the winter in the next six months to grant a one year extension until September 14, 2017 for that Site and Operational Plan approval subject to the original April 1, 2016 approval letter in compliance with any Village ordinance amendments that have been made since that approval. So they would like to start as soon as possible. They are just waiting for that approval from the Wisconsin DNR.

Michael Serpe:

A question for you. What size wetland are we referring to here?

Jean Werbie-Harris:

I know that it's less than an acre. It's a very small area. I'd have to go back. I did not anticipate nor did they anticipate that this would take this long for this small area. But unfortunately, if you

saw any of the sketches or remember, but that finger kind of comes right down through the middle of the dock area and the parking area for the trucks. So they really do need to get that filled in. Otherwise it causes that northern maybe one fifth of the property to be undevelopable. A small area.

Tom Terwall:

Other questions or comments? What's your pleasure?

Jim Bandura:

Move for approval.

Deb Skarda:

Second

Tom Terwall:

IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY DEB SKARDA TO GRANT THE ONE YEAR EXTENSION UNTIL SEPTEMBER 14, 2017 FOR SITE AND OPERATIONAL PLANS. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

D. Consider the request of David Jarabak with Exel, Inc. for approval of Site and Operational Plans for DHL Supply Chain to occupy the entire 256,240 square foot building located at 8505 100th Street in LakeView Corporate Park for the warehousing of SC Johnson products.

Jean Werbie-Harris:

Item D is to consider the request of David Jarabak with Excel, Inc. for approval of Site and Operational Plans for DHL Supply Chain to occupy the entire 256,240 square foot building located at 8505 100th Street in LakeView Corporate Park for the warehousing of SC Johnson products.

The petitioner is requesting to obtain Site and Operational Plans approval to occupy the entire 256,240 square foot building located at 8505 100th Street in the LakeView Corporate Park. This would be for the warehousing of SC Johnson products including: Drano Max Building Up Remover, Glade Spray, Shout Advance Action Gel, Windex and Ziploc products, all non-aerosol and all non-high hazardous products.

Earlier in August the Village issued a permit for DHL to occupy 50 percent of this building which is allowed with staff approval of the Site and Operational Plans; however, if more than 50 percent of the building is occupied by one user, then the Site and Operational Plans are required to be approved by Plan Commission.

No site or exterior building modifications are proposed with this development. The facility will be open Monday through Friday from the hours of 7:00 a.m to 3:00 p.m, a one shift operation with 10 to 12 full-time employees. The site will be closed on Saturday and Sunday with a security guard provided during off hours. The site is not open to the public.

The existing 235 parking spaces are more than adequate for this use. In addition, the building provides for 25 exterior dock doors and four drive in doors. The truck dock will support all truckload carrier needs for inbound product and outbound shipments. Receiving and shipping will be performed on a shared dock.

The site will handle portions of the co-pack/warehouse club business, approximately 10,000 to 15,000 inbound pallets per month are forecasted to be provided by SCJ, which will arrive on pallets. Over a six week period the plan to reach the estimate inventory level of approximately 22,000 pallets. The site will serve as an overflow warehouse for the network storing product that may not yet have final deployment. Any incremental volume has not been determined yet. Shipments to the other Johnson Facilities will be shipped in full pallet unit of measure.

And just so you know that this is an existing building as you can see. And it was the building that Uline recently moved out of this past spring when they took full occupancy of their W2 building on their site. And there was some minor site work. There was some parking lot patching and sealing and things like that. So they did some minor work on the site this spring to make the site look good. There's a representative here if there are any comments, questions for a representative, any questions for him.

Tom Terwall:

Where's the representative? Opportunity for you to add anything you which to add.

Tim Bartell:

Dave Jarabak could not be here unfortunately, but my name is Tim Bartell. I'm the operations manager at the DHL facility in Sturtevant. And I would be the main contact for this particular building.

Tom Terwall:

Anything you wanted to add?

Tim Bartell:

No, I'd just like to say that DHL Supply Chain is a very large company. We have about 30,000 employees in North America. We have about 400 sites across the country. We like to do things by the book [inaudible].

Tom Terwall:

Thank you.

Deb Skarda:

Could you tell us a little bit more about the security of the building?

Tim Bartell:

The security guard would be on duty when we're not there.

Deb Skarda:

So what kind of like alarms of doors --

Tim Bartell:

Currently I'm not sure since we haven't actually been in the building [inaudible]. We did occupy that building several years ago before Uline, and they did have an alarm system at that time.

Deb Skarda:

I just ask because of the Drano Max, and sometimes Drano being used for illicit drug manufacturing. So just to make sure that we've got some --

Tim Bartell:

Yes, it will be adequate.

Tom Terwall:

Anything else?

Michael Serpe:

There's aerosol cans going to be stored there as well?

Tim Bartell:

No, no aerosol.

Michael Serpe:

No aerosol?

Tim Bartell:

No.

Michael Serpe:

Okay, that's it.

Tom Terwall:

Wayne?

Michael Serpe:

Move approval.

Jean Werbie-Harris:

I have a quick question. Do you know how many automobile and trucks are going to be going back and forth on that site, I mean in and out.

Tim Bartell:

Off the top of my head no.

Jean Werbie-Harris:

I'd like to get that information from you.

Tim Bartell:

I'd say 10 to 15 a day maybe.

Jean Werbie-Harris:

Of what?

Tim Bartell:

Trucks coming in and out.

Jean Werbie-Harris:

Is that a total of 15 trucks or inbound?

Tim Bartell:

Per day. Well, it would be 10 to 15 in and 10 to 15 out.

Jean Werbie-Harris:

And are these new employees that you're going to be hiring or are they transfers from someplace else?

Tim Bartell:

It would be a combination.

Tom Terwall:

Anything further?

Michael Serpe:

Move approval.

Wayne Koessl:

I'll second it.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY WAYNE KOESSL TO GRANT THE SITE AND OPERATIONAL PLAN FOR DHL SUPPLY CHAIN AS RECOMMENDED. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Tim Bartell:

Thank you very much.

7. ADJOURN.

Wayne Koessl:

So moved.

Judy Juliana:

Second.

Tom Terwall:

Moved and seconded that we adjourn. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

We stand adjourned.

Meeting Adjourned: 6:23 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF AN AMENDMENT TO CONDITIONAL USE PERMIT #98-08** for the request of Robert Barolak, President of Prairie Ridge Harmony Housing, LLC to allow for 121 senior apartment units within the building rather than 120 as a result of a conversion of a common area on the 3rd floor of the Prairie Ridge Senior Campus for a senior residential apartment unit located at 7900 94th Avenue.

Recommendation:

Village staff is recommending approval of the 1st Amendment to Conditional Use Permit #98-08 subject to the comments and the conditions of the Village Staff Report of September 12, 2016

VILLAGE STAFF MEMORANDUM OF SEPTEMBER 12, 2016

CONSIDERATION OF AN AMENDMENT TO CONDITIONAL USE PERMIT #98-08 for the request of Robert Barolak, President of Prairie Ridge Harmony Housing, LLC to allow for 121 senior apartment units within the building rather than 120 as a result of a conversion of a common area on the 3rd floor of the Prairie Ridge Senior Campus for a senior residential apartment unit located at 7900 94th Avenue.

*On September 9, 1998 the Village approved a Conditional Use Permit #98-08 as **attached** and Site and Operational Plans as **attached** for the construction of the first phase of the Senior Independent Living Center (aka Senior Campus) to accommodate the ever-increasing need for housing for the mature adult population. The first phase of the proposed project was a three-story 120-unit structure with 60 one-bedroom units and 60 two-bedroom units and common areas for group activities. This building was constructed at 7400 94th Avenue and the **attached** Certificate of Occupancy was issued by the Village in March of 2000 for a 120 living unit facility.*

Pursuant to the application, around the time of construction completion, prior ownership decided to convert an area previously intended for common use on the third floor, to a residential unit specifically created for the on-site property manager. That being said, the property now contains 121 units. The 121st unit is addressed as A312, and is now occupied by a person that is not affiliated with the site management or ownership. In an effort for the new owner to satisfy their lender, and the Village of Pleasant Prairie, the petitioner is requesting an amendment to the Conditional Use Permit #98-08 and to obtain a newly issued Certificate of Occupancy to ensure that their newly acquired property is in good standing with all parties.

The property is zoned R-11, Multi-family Residential District, and senior housing is allowed with approval of a Conditional Use Permit provided that the net residential density does not exceed 21 units per acre. The conversion of the open space area into another living unit would provide for 121 senior living units within the building for a net density of 16.85 living units per acre (121 living units/7.18 acres). The modification of this density has no negative impact on the overall density of the development. See **attached** revised Conditional Use Permit to be executed by all parties and recorded at the Kenosha County Register of Deeds Office.

Village staff recommends approval of the 1st Amendment to Conditional Permit #98-08 subject to the above comments and the following conditions:

1. The owner shall submit a copy of the 1998 recorded restriction related to the property being used for senior housing to the Village so that the attached **attached** 1st Amendment to Conditional Use Permit #98-08 can be finalized.
2. Upon the 1st Amendment to Conditional Use Permit #98-08, the document shall be executed by all parties and recorded at the Kenosha County Register of Deeds Office (at the owner's expense).
3. Upon recording the amended Conditional Use Permit, the owners shall submit the required Multi-Family Building Permit application with the building drawings for property permits to be issued and inspections completed so that the Village can issue a new Certificate of Occupancy for the 121 unit building.



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 98-08 1st Amendment**

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to the property located at 7900 94th Avenue.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Parcel Number:

91-4-122-081-0450

Legal Description: Parcel 1 of CSM 2064 a re-division of Outlot 9 of the Prairie Ridge Subdivision located in a part of the Northeast One-Quarter of U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, a senior independent living center to accommodate the housing needs for the mature adult population as the first phase of the Senior Campus. The plans include the construction of a three-story, 121 unit structure with 60 one-bedroom units and 61 two-bedroom units and common areas for group activities.

The Village approved the Conditional Use Permit subject to the following conditions:

1. Subject to the approved Site and Operational Plans on file with the Village of Pleasant Prairie as conditionally approved on September 9, 1998 by the Village Board and an amendment to create a two (2) bedroom unit on the third floor as shown on **Exhibit 1** as conditionally approved by the Village Plan Commission on September 12, 2106.
2. Subject to the restrictive covenant recorded on the property on _____, 1998 as Document # _____ at the Kenosha County Register of Deeds Office.

3. A preliminary conceptual master site plan which lays out how all of the phases will be conceptual interrelated via driveways, roadway access, parking lots, building layout has been submitted for the staff to evaluate the entire site. Detailed dimensions on this plan will be required prior to subsequent phasing of the development.
4. Subject to the Driveway Access and Maintenance Easements recorded for driveways which overlap the proposed property lines to the south and to the west.
5. The garbage dumpsters are intended to be kept inside. If a garbage dumpster area is located outside, the garbage dumpster enclosure should be made of brick, concrete or stone --the same material as the building.. The dumpster must be large enough to handle all dumpsters, plastic crates, wood pallets, recycle bins and refuse. No garbage, plastic bins, dumpsters, recycle bins, etc. may be located outside of the enclosure. A detail of the enclosure, including height, material and colors should be provided. The dumpster enclosure should be a minimum of six (6) foot high.
6. Permits are required for the proposed development signage. A detailed signage plan for all site signage, including the building signage size, color and placement should be provided for review and approval by the Village Plan Commission. In addition the signage shall be pursuant to the Prairie Ridge Deed Restrictions and Protective Covenants, the sign package for the site needs to also be approved by the V.K. Development Corporation. The address of the senior campus shall be located on the ground sign. The ground sign shall not exceed 6 feet in height. The leading edge of the sign shall be shown to be 15 feet from the 94th Avenue right-of-way.
7. All signs and landscaping shall be installed prior to occupancy. The street trees shall be installed after the curb and gutter and sidewalks are installed.
8. No plastic advertising (rental) banners are permitted on the site without proper permits.
9. No mechanical units should be visible from the public's view. All mechanical units must be screened.
10. Roof drains and downspouts (and any sump pumps) shall be interconnected to the internal storm sewer system.
11. No other changes to the exterior/interior site or building changes shall be made without Village approval.
12. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners and Tenants of the Premises and shall constitute an effective covenant running with the land.
13. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
14. Construction and operation of the use granted shall be in strict conformity to the approved Site, Building and Operational Plans filed in connection with the petition for this permit.
15. Any conditions of the Conditional Use Grant which would normally be the responsibility of the tenants of the premises and shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify the employees.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the **9th** day of **September, 1998 and amended by the Plan Commission on the 12th day of September 2016.**

ATTEST:

Thomas W. Terwall
Plan Commission Chairman

James W. Bandura
Plan Commission Secretary

OWNER: Prairie Ridge Harmony Housing LLC

By: Robert Barolak
President

ACKNOWLEDGMENT
STATE OF _____)
SS
_____ COUNTY)

Personally came before me this _____ day of _____, 20____, the above named **(Robert Barolak the President of Prairie Ridge harmony Housing LLC)**, to me known to be who executed the foregoing instrument and acknowledge the same.

Notary Public, _____ County, ____.
My Commission expires: _____.

THIS INSTRUMENT WAS DRAFTED BY:
Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

08 senior campus-phase 1-1st amendment
DEV1608-003



RECEIVED

AUG 17 2016

PLEASANT PRAIRIE

Rev. 1/98
2/01
1/04

Filed _____ 20__ Published _____ 20__
Public Hearing _____ 20__ _____ 20__
Fee Paid _____ 20__ Approved _____ 20__
Notices Mailed _____ 20__ Denied: _____ 20__

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE PERMIT**

(Use this application only if a Site and Operational Plan approval is not required.)

To: Village Plan Commission and Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Plan Commission for a Conditional Use Permit as hereinafter requested.

It is petitioned that the following Conditional Use Permit be approved: Certificate of Occupancy for unit A312 making property unit total 121.

on the property located at: 7900 94th Ave, Pleasant Prairie, WI 53158 and is legally described as follows
(address)

as follows: Prairie Ridge Harmony Housing LLC.

Tax Parcel Number(s): 91-4-122-081-0450

The proposed use for this property is: Multi-family housing (Senior)

Current zoning of the property: Residential

Proposed zoning of the property: Residential

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Prairie Ridge Harmony Housing LLC
Print Name: By: Robert Barolak, President

Signature: [Signature]

Address: 152 W 57th St 60th Fl

New York, NY 10019

(City) (State) (Zip)

Phone: 917-421-4503

Fax: 888-848-1535

Date August 16, 2016

OWNER'S AGENT:

Print Name: _____

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

Date: _____

From: [Zach Newport](#)
To: [Peggy Herrick](#); "johns@kuenvarch.com"
Cc: [Jean Werbie-Harris](#)
Subject: RE: Prairie Ridge Sr. Apartments
Date: Thursday, August 18, 2016 12:14:34 PM

Peggy,

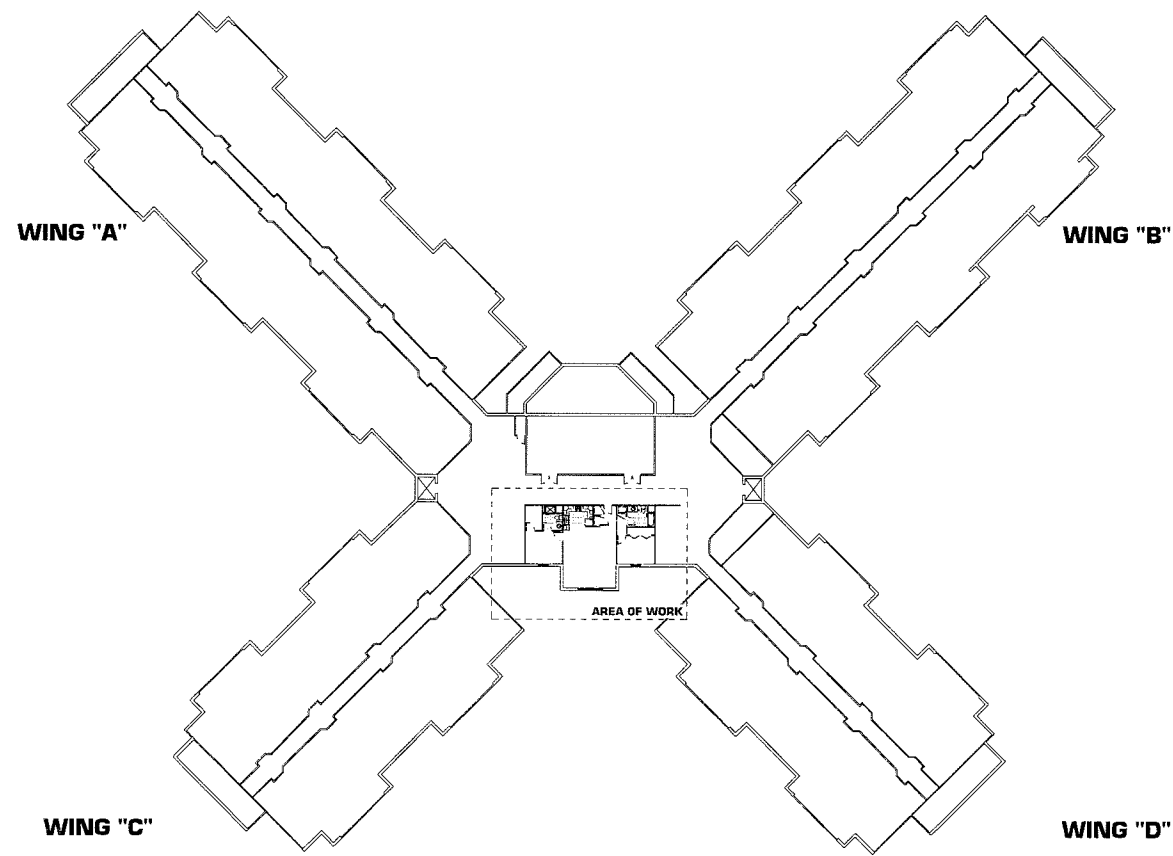
See below for my paragraph explaining the situation.

The existing Certificate of Occupancy for Prairie Ridge Senior Campus, states that the property consists of 120 units. At around the time of construction completion, prior ownership decided to convert an area previously intended for common use, to be a residential unit specifically created for the on-site property manager. That being said, the property now contains 121 units. The 121st unit is addressed a A312, and is now occupied by a person that is not affiliated with the site management or ownership. In an effort to satisfy our lender, and the Village of Pleasant Prairie, we intend to obtain a newly issued Certificate of Occupancy, and are prepared to take every step necessary to put our newly acquired property in good standing with all parties.

Thank you,

Zach Newport

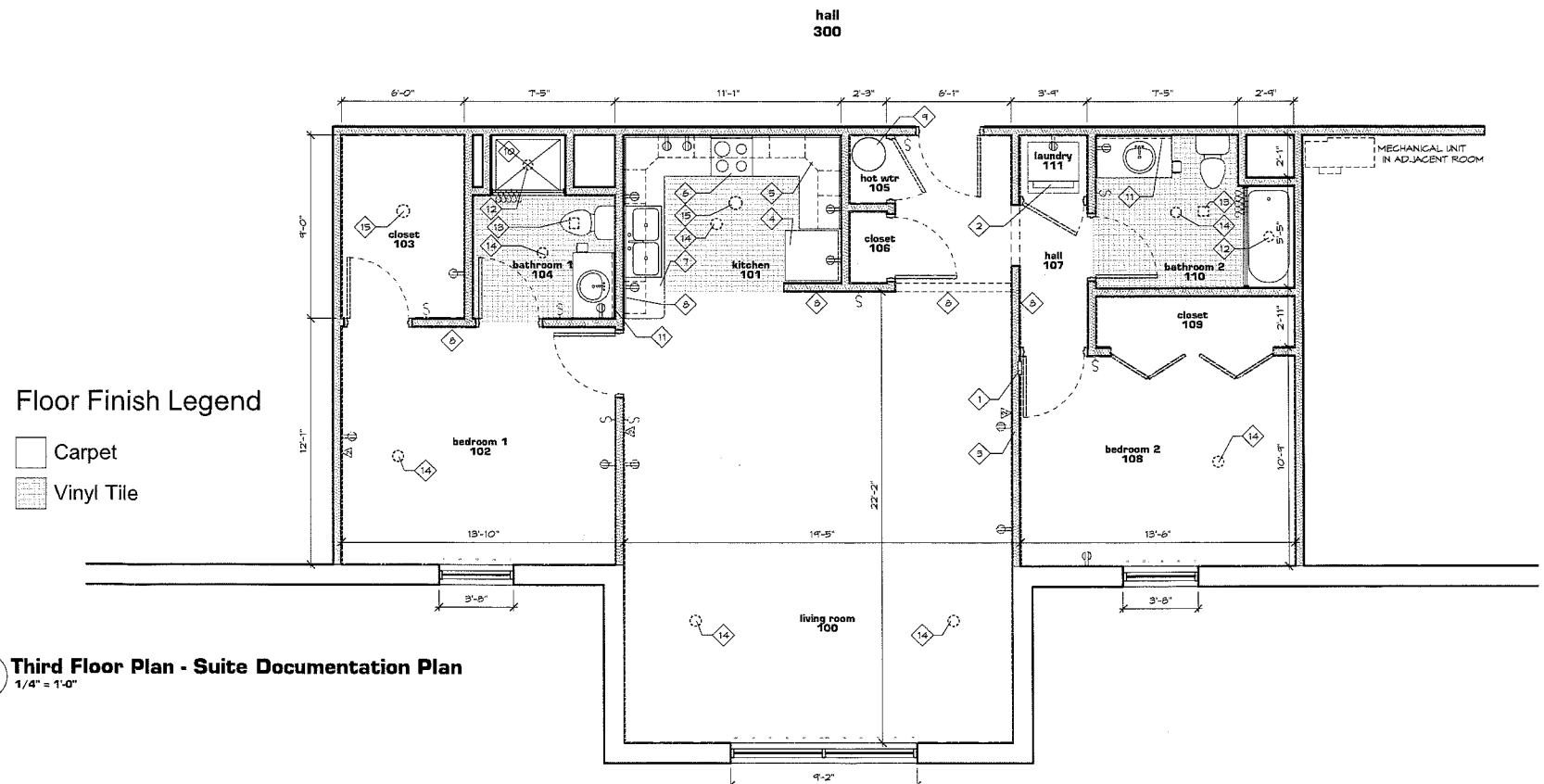
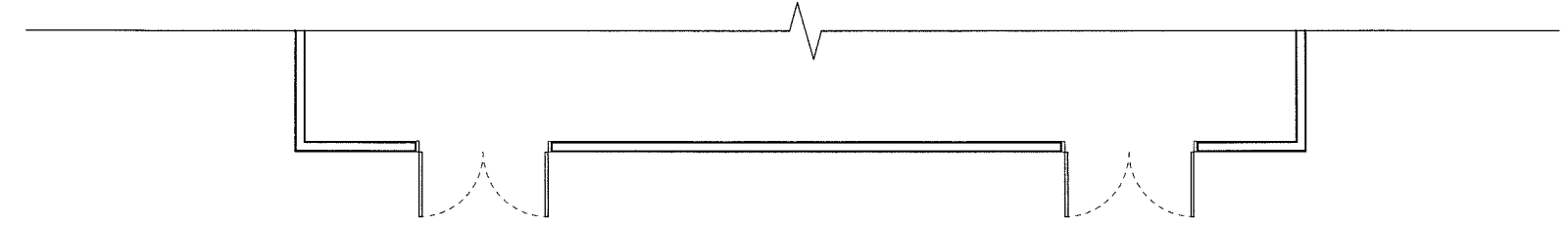
Greystone Property Management Corporation
317.697.1708



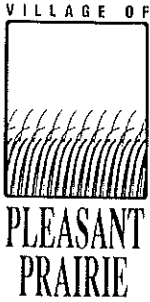
1 Third Floor - Key Plan
1/32" = 1'-0"

PLAN NOTES		
Diamond Tag #	Total	Description
1	1	ELECTRICAL BOX IN WALL
2	1	WASHER AND DRYER COMBINATION UNIT
3	1	STUD WALL IV GYP. BOARD FINISH
4	1	REFRIGERATOR
5	1	UPPER CABINETS
6	1	ELECTRIC OVEN IV STOVE TOP
7	1	DISHWASHER
8	5	FIRE SUPPRESSION SPRINKLER (8'-6" ELEVATION)
9	1	HOT WATER HEATER
10	1	ADA ACCESSIBLE SHOWER
11	2	WALL MOUNTED BATHROOM LIGHTS ABOVE MIRROR
12	2	SHOWER LIGHT
13	2	EXHAUST FAN
14	1	SUPPLY VENT
15	2	CEILING LIGHT

*ALL ITEMS ON PLAN NOTES SCHEDULE ARE EXISTING



2 Third Floor Plan - Suite Documentation Plan
1/4" = 1'-0"



COPY

DOCUMENT NUMBER

1138341

CONDITIONAL USE PERMIT
R E C O R D E D

at Kenosha County, Kenosha, WI 53140
Louise I Principe, Register of Deeds
on 3/29/1999 at 2:44 PM
990013274
\$16.00
REGDEED3
SANS

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 98-08**

Before the Village Board of the Village
of Pleasant Prairie, Kenosha County,
Wisconsin, in regard to the property
located at 7900 94th Avenue.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Legal Description:

Parcel 1 of CSM 2064 a re-division of Outlot 9 of the
Prairie Ridge Subdivision located in a part of the
Northeast One-Quarter of U.S. Public Land Survey
Section 8, Township 1 North, Range 22 East in the
Village of Pleasant Prairie, Wisconsin.

Parcel Number:

91-4-122-081-0450-0

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant
Prairie, pursuant to State Statute, provide that the premises may not be used of right for the
purpose hereinafter described but that upon petition such use may be approved by the Village
of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the
standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the
Village Board of the Village of Pleasant Prairie having determined that by reason of the
particular nature, character and circumstances of the proposed use, and of the specific and
contemporary conditions, grant of such use upon the terms and conditions hereinafter
prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the
terms and conditions hereinafter stated, a senior independent living center to accommodate the
housing needs for the mature adult population as the first phase of the Senior Campus. The
plans include the construction of a three-story 120 unit structure with 60 one-bedroom units
and 60 two bedroom units and a large common area for group activities.

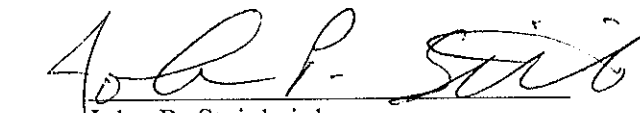


The Village approved the Conditional Use Permit subject to the following conditions:

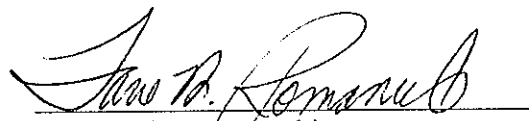
1. Subject to the approved Site and Operational Plans on file with the Village of Pleasant Prairie.
2. A preliminary conceptual master site plan which lays out how all of the phases will be conceptual interrelated via driveways, roadway access, parking lots, building layout has been submitted for the staff to evaluate the entire site. Detailed dimensions on this plan will be required prior to subsequent phasing of the development.
3. Subject to the Driveway Access and Maintenance Easements recorded for driveways which overlap the proposed property lines to the south and to the west.
4. The garbage dumpsters are intended to be kept inside. If a garbage dumpster area is located outside, the garbage dumpster enclosure should be made of brick, concrete or stone --the same material as the building.. The dumpster must be large enough to handle all dumpsters, plastic crates, wood pallets, recycle bins and refuse. No garbage, plastic bins, dumpsters, recycle bins, etc. may be located outside of the enclosure. A detail of the enclosure, including height, material and colors should be provided. The dumpster enclosure should be a minimum of six (6) foot high.
5. Permits are required for the proposed development signage. A detailed signage plan for all site signage, including the building signage size, color and placement should be provided for review and approval by the Village Plan Commission. In addition the signage shall be pursuant to the Prairie Ridge Deed Restrictions and Protective Covenants, the sign package for the site needs to also be approved by the V.K. Development Corporation. The address of the senior campus shall be located on the ground sign. The ground sign shall not exceed 6 feet in height. The leading edge of the sign shall be shown to be 15 feet from the 94th Avenue right-of-way.
6. All signs and landscaping shall be installed prior to occupancy. The street trees shall be installed after the curb and gutter and sidewalks are installed.
7. No plastic advertising (rental) banners are permitted on the site without proper permits.
8. No mechanical units should be visible from the public's view. All mechanical units must be screened.
9. Roof drains and downspouts (and any sump pumps) shall be interconnected to the internal storm sewer system.
10. No other changes to the exterior/interior site or building changes shall be made without Village approval.

11. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners and Tenants of the Premises and shall constitute an effective covenant running with the land.
12. The Conditional Use Grant shall be void unless proper execution (signatures and recording) of the Conditional Use Grant, pursuant to the Building Code and Zoning Ordinance of the Village, for appropriate Building, Zoning and Occupancy Permits is made in conformity to this Grant, is made within six (6) months of the date approved by the Village Board.
13. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
14. Construction and operation of the use granted shall be in strict conformity to the approved Site, Building and Operational Plans filed in connection with the petition for this permit.
15. Any conditions of the Conditional Use Grant which would normally be the responsibility of the tenants of the premises and shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify the employees.

Granted by the action of the Village Board of the Village of Pleasant Prairie, the 9th day of September, 1998.

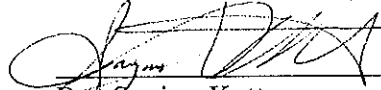

John P. Steinbrink
Village President

ATTEST:


Jane M. Romanowski
Village Clerk

OWNER: Prairie Ridge Tax Credit Senior Housing Limited Partnership:

By: Prairie Ridge Senior Tax Credit LLC
Its: General Partner



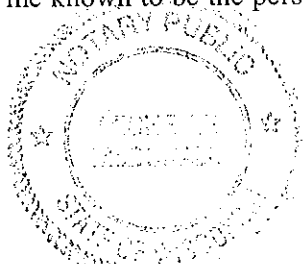
By: Sanjay Kuttempoorer, It's Member

ACKNOWLEDGMENT
STATE OF WISCONSIN)

SS

WAUKESHA COUNTY)

Personally came before me this 11th day of SEPTEMBER, 1998, the above named (Sanjay Kuttempoorer) to me known to be the person who executed the foregoing instrument and acknowledge the same.



Michelle McDonald
Notary Public, Waukesha County, WI.
My Commission expires: 5-5-02.

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158



CERTIFICATE OF OCCUPANCY
CONDITIONAL APPROVAL
VILLAGE OF PLEASANT PRAIRIE
COMMUNITY DEVELOPMENT DEPARTMENT

DATE: March 1, 2000

Tax Parcel Number: 91-4-122-081-0450-0
Tenants Name: Prairie Ridge Senior Campus
Project Address: 7900 94th Avenue
Pleasant Prairie, WI 53158
Owner(s) Name: Prairie Ridge Tax Credit Senior Housing Limited Partnership
Owner(s) Address: 19275 W. Capital Drive
Pleasant Prairie, WI 53158
Building Permit Number: 99-03-0007
Zoning District: R-11, Multi-Family Residential District
Structure/Occupancy/Use: 120 unit senior independent living center

* All exterior work, including landscaping and signage shall be completed by June 1, 2000.

This permit certifies that all final inspections were made in accordance with the Administrative Codes, Village of Pleasant Prairie Municipal Code, and Village of Pleasant Prairie Zoning Code and the above Structure, Occupancy, or Use hereby conforms with the following:

X Building X Zoning X Site and Operational Plans NA Electric

X Wetlands X Plumbing X Floodplain X HVAC X Shorelands

Building Final Inspection Jeff Simon Date: 3-1-00
Building Inspector

Plumbing Final Inspection Jeff Simon Date: 3-1-00
Plumbing Inspector

Fire Final Inspection Paul G. Rulbert Date: 3-1-00
Fire Inspector

Public Works Inspection Michael Fran Date: 3-1-00
Public Works Superintendent

Zoning Final Inspection Leona K. Daniel Date: 3-1-00
Asst. Zoning Administrator

Jean M. Weir Date: 3-1-00
Community Development Director





**VILLAGE OF PLEASANT PRAIRIE
COMMUNITY DEVELOPMENT DEPARTMENT**

**CONDITIONS FOR OCCUPANCY
PERMIT NUMBER: 99-03-0007**

DATE: March 1, 1999

**OWNER: Prairie Ridge Tax Credit Senior Housing Limited Partnership
ADDRESS: 19275 W. Capital Drive, Brookfield, Wisconsin 53045
TELEPHONE: (414) 790-6000**

**CONTRACTOR: VK Development Corporation
ADDRESS: 19275 W. Capital Drive, Brookfield, Wisconsin 53045
TELEPHONE: (414) 790-6000**

The undersigned hereby applies for a permit, and hereby agrees that all work will be done in accordance with all the laws of the State of Wisconsin and all of the ordinances of the Village of Pleasant Prairie applicable to the following described premises:

**DEVELOPMENT NAME: Prairie Ridge Senior Campus Phase 1
ADDRESS: 7900 94th Avenue, Pleasant Prairie, Wisconsin 53158
TAX PARCEL NUMBER: 91-4-122-081-0450-0 (Parcel 1 CSM 2064)**

PROPOSED STRUCTURE AND USE: to construct a senior independent living center to accommodate the housing needs for the mature adult population as the first phase of the Senior Campus. The plans include the construction of a three-story 120 unit structure with 60 one-bedroom units and 60 two bedroom units and a large common area for group activities in the Prairie Ridge Development.

CURRENT ZONING: R-11, Multi-Family Residential District.

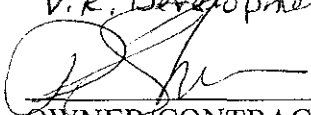
CONDITIONS PRIOR TO OCCUPANCY:

1. Subject to the approved Site and Operational Plans approved by the Village Board on September 9, 1998 on file with the Village of Pleasant Prairie.
2. All conditions as listed in the state approval letter from the Wisconsin Department of Commerce, dated January 6, 1999 also identified as Transaction No. 196424 and Site ID No. 164693 shall be complied with.
3. This permit is for the **Building only**.

4. This permit **does not include** the required heating, ventilation or air-conditioning permits which shall be State approved, **before** filing for permits with the Village.
5. This permit **does not include any interior or exterior plumbing**, which shall be State approved, **before** filing for permits with the Village. **Prior to obtaining the exterior plumbing permit the required sewer connection fee of \$45,174.52 shall be paid to the Village and a paid receipt shall be submitted by the owner to the Community Development Department for proof of payment.**
6. Permits are required for the proposed development signage. A detailed signage plan for all site signage, including the building signage size, color and placement should be provided for review and approval by the Village Plan Commission. In addition the signage shall be pursuant to the Prairie Ridge Deed Restrictions and Protective Covenants, the sign package for the site needs to also be approved by the V.K. Development Corporation. The address of the senior campus shall be located on the ground sign. The ground sign shall not exceed 6 feet in height. The leading edge of the sign shall be shown to be 15 feet from the 94th Avenue right-of-way.
7. All signs and landscaping shall be installed prior to occupancy. The street trees shall be installed after the curb and gutter and sidewalks are installed.
8. **Silt fence and gravel access drives** will need to be installed and inspected prior to any work starting.
9. Must comply with A.D.A. Section 4..of the Wisconsin Administrative Code for barrier free accessibility.
10. **Sampling Manhole with 110V Water proof outlet in Manhole.** Per Municipal Ordinance 13.22(3) All Commercial Buildings shall install a sampling manhole, with power for the Village to monitor industrial discharges. The manhole shall be installed as noted on the plans.
11. **Recycling Space.** Per ILHR 52.24 (1) APPLICABILITY. All buildings under the scopes of chs. ILHR 54 to 64 shall provide a separate room or designated space within or adjacent to the building for the separation, temporary storage and collection of recyclable materials likely to be generated by the building occupants, under any of the following conditions:
 - a. The construction of a new public building;
 - b. An increase in the existing area of a public building which increases the gross floor area of the structure by 50% or more; or
 - c. An alteration of 50% or more of the existing area of a public building that is 10,000 square feet or more in area.

12. **Exit and Emergency Lighting.** Per IND.21 (3) Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings, and apartment buildings, hotels and places of abode or detention shall have emergency lighting and exit lighting.
13. The **emergency lighting** and **exit signs** shall be on one separate circuit to provide convenient testing of these devices.
14. If water main is to serve both domestic and fire protection combined, the plans will need IHLR approval and Village Fire/Rescue Department approval prior to obtaining permits and work starting.
15. The architect, professional engineer shall submit to the State the compliance statement prior to the final inspection with the Village's Fire & Rescue and Community Development Departments.
16. This property and building shall comply with all requirements for Barrier-free design. In addition, the international symbols for barrier-free environments shall be placed at front door and washroom doors.
17. No plastic advertising (rental) banners are permitted on the site without proper permits
18. No mechanical units should be visible from the public's view. All mechanical units must be screened.
19. The outlet for the storm sewers at the southwest corner of the property needs to be identified. A letter shall be provided from the adjacent property owner (VK Development Corporation) regarding the acceptance of the run off drainage from the site.
18. Roof drains and downspouts (and any sump pumps) shall be interconnected to the underground storm sewer system.
19. Subject to conditions as set forth by the Fire & Rescue Chief in the attached memorandum revised September 6, 1998.
20. Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separations walls as required by emergency rule that took effect on January 28, 1998.
21. An exterior lawn sprinkling system should be installed to maintain the quality of the landscaping proposed, if it is identified that plant materials are not be properly watered.

- 22. Fire Sprinkler plans must be submitted for review.
- 23. Subject to the Conditional Use Grant 98- 08 shall become effective upon the execution and recording by the Village for the Owners and Tenants of the Premises and shall constitute an effective covenant running with the land. The owner is responsible to sign and pay for the recording of the Conditional Use Grant Document prior to issuance of occupancy.
- 24. **Prior to occupancy, a joint final inspection shall be conducted and approved by the Fire & Rescue Department and the Community Development Department to ensure compliance with State and Local regulations. Please contact the Building and Inspection office to schedule this inspection at least 72 hours prior to the requested joint final inspection.**

V.K. Development Corporation


OWNER/CONTRACTOR
Richard S. Losee, Vice President

3/2/99

DATE

cc: Fire Chief Paul G. Guilbert, Jr.
Building file

senior housing campus.vk dev

PLEASANT PRAIRIE FIRE & RESCUE DEPARTMENT
P. O. BOX 905
PLEASANT PRAIRIE , WI 53158 0905

MEMORANDUM

TO: JEAN WERBIE, DIRECTOR
COMMUNITY DEVELOPMENT

FROM: PAUL G. GUILBERT, JR., CHIEF

RE: PRAIRIE RIDGE SENIOR CAMPUS, S.W. CORNER OF 79TH ST. AND 94TH AVE.

DATE: 8/6/98 *Revision 9/6/98*

The following is a review of a three story, 120 apartment building with a basement and underground parking. This will be Phase I of the proposed project. The building is a type 8 wood frame unprotected construction, 45,400 square feet, classified under Department of Commerce Chapter 57, Residential Occupancies. The Pleasant Prairie Fire & Rescue Department will be responsible for providing fire prevention inspections of the facility, twice annually.

The concerns of the Fire & Rescue Department are as follows:

The buildings shall be constructed in accordance with the State of Wisconsin, Department of Commerce Chapter 57, Residential Occupancies Code, and in particular those items that pertain to fire protection. In the event a conflict in code(s) is identified, or a conflict with the Insurance carrier criteria occurs, the more stringent code or criteria shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State, directly, for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

1. **Sprinklers:** The entire building shall be equipped with an "automatic fire sprinkler system". That system shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers; NFPA 13R, Residential Occupancies and the Village of Pleasant Prairie Ordinance 5.16, Automatic Fire Sprinklers.
2. **Standpipes:** The owner states that this facility will have four standpipes installed in addition to the sprinkler system. We would like to discuss this further with the owner.

3. **Storage:** The Owner needs to be aware of the restrictions that apply to the storage of personal goods as would be found in the common areas of an apartment building.
4. **Fire hydrants:** A drawing has been provided by Losee & Associates, Inc., Sheet AO-1, dated 7/10/98, indicates one hydrant located at the Fire Department Pumper Pad, and one hydrant at the rear of the building. The fire hydrants shall be placed in accordance with the Village of Pleasant Prairie Ordinance 5.16, "Automatic Sprinklers", in particular fire hydrants shall not be more than 250 feet apart, measured by normal driving routes. Fire hydrants must meet the Village standard.
Note: The fire hydrant at the rear or west side is fed by a water main running through the building. The reliability of the hydrant is depended on maintaining the integrity of the building *This has been changed as shown drawing C-1 Revision 8/31/98. Hydrants are supplied by different laterals from the roadway.*
5. The distance from the ground line to the lowest nozzle of the fire hydrant and the lowest connection of the FDC shall be no less than 23 inches. All fire hydrants and FDC's shall be located and of sufficient height where as a typical snow fall or snow removal operations will not obstruct access.
6. **Pumper Pads (fire hydrant and fire department connection):** The Pumper Pad must be placed remote from the building as shown on Losee & Associates drawing dated 7/10/98, a drawing of an approved Pumper Pad is enclosed. A parking space shall be dedicated for the Pumper Pad, the exact location shall be mutually agreeable to the Fire & Rescue Department and the Owner. Bollards shall be placed near the fire hydrants(s) and FDC's to prevent damage. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of bollards before final placement is made
7. **Plan Review and Permits:** The plans for both the fire protection underground and aboveground must be submitted for review. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before permits will be issued.
8. **Fees:** An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until permits have been issued. A typical review turnaround is three weeks.
9. **Required licenses:** Underground fire mains and aboveground fire protection must be installed by a Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

10. **Strobe light(s):** A strobe light shall be provided for each riser and placed above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow only. The lens color shall be red. The strobe light shall meet the Village specification as found in section 5.16(7) of the Sprinkler Ordinance. A sprinkler water flow alarm shall: activate the building fire alarm system, activate all associated bells and strobes, notify the Pleasant Prairie dispatch center using a digital dialer.
11. **Pull stations:** And audiovisual alarms shall be installed **per ADA requirements**. Pull stations must be immediately adjacent to the doors, not "in the area of the door". *Not shown on the Revision Drawing. Submit plan for review.*
12. **Fire Alarm Panels:** Annunciator Panel(s) shall be placed in the main vestibule and inside the exterior exit closet to the sprinkler riser room. The panel shall identify a fire sprinkler water -flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building. *Not shown on the Revision Drawing.*
13. **Smoke Detectors:** The Fire & Rescue Department would like to discuss this item with the Owner as soon as possible.
14. **Annunciator Panel:** Shall not be of the digital read out style. The annunciator panel type shall be approved by the Fire & Rescue Department.
15. **Digital Dialer:** The annunciator panel shall transmit all fire alarm signals to an approved central (alarm) station and the Pleasant Prairie Public Safety Dispatch Center using a digital dialer. The Honeywell Company, Brookfield, Wisconsin, oversees the fire and burglar alarm receiving capabilities of the Village of Pleasant Prairie. Prior to installation, the Honeywell Company, must be contacted to establish account information. Please call: 414-797-6315.
16. **Fire Alarm Plan Review:** The fire alarm system plans must be reviewed prior to installation. A permit fee applies to the fire alarm system, as well.
17. **Elevator:** All elevators must be of sufficient size to accommodate one ambulance stretcher and three Paramedics along with equipment. There must be enough room to provide adequate movement.
18. **Knox Box(s):** Two (2) Knox Box(s) Model 4400 shall be placed on the building, one on the front main entrance, and one at the garage entrance. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre fire plan. *Knox boxes are shown on the Revision Drawing C-1 8/31/98, locations are per this comment.*

19. **Fire extinguishers:** The fire extinguishers shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. The designer shall show the location of where the extinguishers are to be placed.
20. **Site Plan Requirements:** The location of the following items must be shown on the site plans before a building permit can be issued:
 21. Pumper Pad: Shown on AO-1 7/10/98, need detail of drawing.
 22. Fire hydrants: Shown on AO-1 7/10/98, *Shown on the Revision Drawing, C-1.*
 23. Annunciator panel: *Not Shown*
 24. Fire alarm pull stations: *Not Shown*
 25. Sprinkler water flow strobe light: *Not Shown*
 26. Fire extinguishers: *Not Shown*
 27. Knox Box(s): *Shown on the Revision Drawing, C-1.*
28. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued
29. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 5.16 (10).
30. Copies of the fire protection underground flushing documents.
31. Copies of the underground and fire sprinkler hydrostatic test certificates.
32. Copies of the fire sprinkler operational test certificates.
33. The Pleasant Prairie Fire & Rescue Department shall have all information needed for out pre-fire plan prior to occupancy. Floor plans should be supplied on 3 ½ inch disk in a Auto-cad format.
34. **Occupancy:** All fire and life safety requirements must be in place prior any building being occupied.



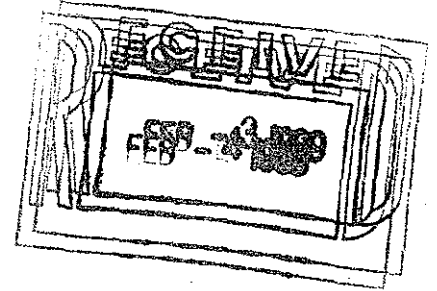
A Professional Property Developer

February 2, 1999

Village of Pleasant Prairie
Pleasant Prairie Fire & Rescue Department
P.O. Box 905
Pleasant Prairie, WI 53138-0905

Attn: Paul G. Gilbert, Jr., Chief

Re: Prairie Ridge Senior Campus,
7900 94th Ave



Dear Chief Gilbert,

The purpose of this letter is to inform you of our commitment to the fire safety issues that have been established in your memorandum dated 9/6/98.

The remaining issues not addressed on our previously submitted revised plans are:

- The fire hydrants and pumper pad will be modified per our discussion and has been revised on the enclosed plans.
- The annunciator panel will be located on the plans and submitted for approval after we select the successful fire protection and electrical subcontractors.
- Fire alarm pull stations, will be located at the entrance doors of each unit and at the entrance to each stair enclosure this also will be shown on the final plans.
- The sprinkler water flow strobe lights will be located at each riser and will be shown on the final plans.
- Fire extinguishers shall be installed per NFPA 10.
- Knox boxes (model 4400) shall be located at the main door and at each garage entrance man door for a total of (3) three.

All of the above will be completed in coordination with the Village of Pleasant Prairie Fire Department and our selected subcontractors. The work shall be completed and approved prior to any commencement of the work associated with that category. Upon completion of the work "as-built" drawings and floor plan disks (.acad-r13 compatible) will be supplied To the Village of Pleasant Prairie Fire Department.

Thank you for the meetings and continual cooperation that we have had regarding the fire safety systems required by the Village of Pleasant Prairie. If you have any questions please contact me.

Cordially,
V.K. Development, Corporation

Richard S. Losee, P.E.
Vice President of Development Operations

cc: Patrick Hennessy, Village of Pleasant Prairie Fire Department
✓ Jean Werbie, Director, Community Development

VILLAGE
COPY

January 06, 1999

CUST ID No.259372
LOSEE, RICHARD S
LOSEE & ASSOCIATES INC
19385 WHITEHALL DR
PO BOX 794
BROOKFIELD WI 53045

ATTN: Buildings & Structures INSPECTOR

MUNICIPAL CLERK
VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVE
PLEASANT PRAIRIE WI 53158-6501

RE: CONDITIONAL APPROVAL
APPROVAL EXPIRES: 01/06/2001

Identification Numbers
Transaction ID No. 196424
Site ID No. 164693
Please refer to both identification numbers, above, in all correspondence with the agency.

SITE:

Site ID: 164693

KENOSHA County, Village of PLEASANT PRAIRIE; SW CORNER 79TH ST & 94TH AVE, PLEASANT PRAIRIE 53158

Facility: PRAIRIE RIDGE SENIOR CAMPUS SW CORNER 79TH ST & 94TH AVE, PLEASANT PRAIRIE 53158

FOR:

Description: MULTIFAMILY 120 UNIT

Object Type: Building Regulated Object ID No.: 439837

8 Wood Frame-Unprotected class of construction, New plan, 175,000 project sq ft

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements.

The following conditions shall be met during construction or installation and prior to occupancy or use:

- This review does not include approval for vertical transportation. Contact the Elevator Section at (414) 521-5444 for submittal requirements.
- ✓ ILHR 50.12 Prior to installation, one copy of the wood truss plans and calculations shall be submitted to this office and one copy provided at the job site. When the total building volume exceeds 50,000 cubic feet, each set of plans shall bear an indication of review which has been signed or initiated by the building designer of record.
- ✓ ILHR 50.12 This review does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans and calculations shall be submitted for review and approval prior to installation.
- ✓ ILHR 50.12 This review does not include lighting. The owner should be reminded that lighting plans and calculations are required to be submitted for review and approval prior to installation.

A copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



(NIZAM) S. NIZAMUDDIN, BUILDING CONSULTANT
Integrated Services
(414)548-8615, MONDAY - FRIDAY 7:45 A.M - 4:30 P.M.
NNIZAMUDDIN@COMMERCE.STATE.WI.US

DATE RECEIVED 12/21/1998
FEE REQUIRED \$ 4,240.00
FEE RECEIVED \$ 4,240.00
BALANCE DUE \$ 0.00
WiSMART code: 7648

cc: V K DEVELOPMENT CORPORATION

LAWRENCE WEEDE, BUILDING INSPECTOR, (414) 248-4922, MON-THURS, 6:45 A.M. - 5:30 P.M.

Conditionally
APPROVED

VKA Professional Property Developer**VIA FACSIMILE ONLY**

March 3, 1999

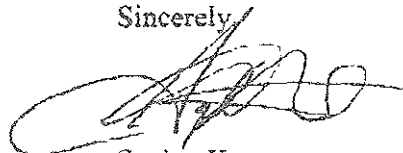
Ms. Jean Werbie
Community Development Director
9915 - 39th Avenue
Pleasant Prairie, Wisconsin 53158-0905

RE: Drainage from Senior Campus - Phase I

Dear Ms. Werbie:

This is to confirm that V. K. Development Corporation, owner of Outlot 9 excepting therefrom Parcel 1 of Certified Survey Map No. 2064, has granted the Prairie Ridge Tax Credit Senior Housing Limited Partnership the right to direct its drainage over, upon and through the above-described property during construction of the first phase of the Senior Campus. Please call with any questions.

Sincerely,



Sanjay Kuttemperoor
Corporate Attorney
V. K. Development Corporation

COPY

PRIVATE ROADWAY AND ACCESS EASEMENT

THIS PRIVATE ROAD AND ACCESS EASEMENT ("Easement Agreement") is dated December 16, 1998 by and between the PRAIRIE RIDGE TAX CREDIT SENIOR HOUSING LIMITED PARTNERSHIP, a Wisconsin limited partnership ("LP"), and V. K. DEVELOPMENT CORPORATION, a Wisconsin corporation ("VKD").

RECITALS

LP and VKD acknowledge the following:

A. LP owns a parcel of real estate legally described as Parcel 1 of Certified Survey Map Number 2064 being a re-division of part of Outlot 9 and shown on Exhibit A, attached hereto, on which LP plans to construct 120 multifamily senior apartment units (the "LP Parcel") which shall be the first phase of a Senior Continuum of Care Community.

B. VKD owns a parcel of real estate legally described as Outlot 9, Prairie Ridge, excepting therefrom Parcel 1 of Certified Survey Map Number 2064 and shown on Exhibit B, attached hereto, on which VKD plans to construct or sell to others the property and rights to construct additional phases of its Senior Continuum of Care Community (the "VKD Parcel").

C. A private roadway, as shown on Exhibit C attached hereto, shall be located on portions of both the LP Parcel and the VKD Parcel to provide ingress and egress for the LP Parcel and the VKD Parcel.

D. LP shall construct the private roadway.

E. LP and VKD desire to grant reciprocal easements, each party to the other, for use of the private roadway, to provide for the maintenance of the private roadway and to allocate the cost of such maintenance in accordance with the terms of this Easement Agreement.

F. LP desires to grant to VKD an easement in gross for the benefit of the VKD Parcel (or portion thereof) for pedestrian ingress and egress over and across portions of the LP Parcel.

G. The LP Parcel and the VKD Parcel are located in the Prairie Ridge subdivision ("Prairie Ridge") in the Village of Pleasant Prairie, Wisconsin.

AGREEMENTS

In consideration of the Recitals and the mutual agreements which follow, LP and VKD agree as follows:

1. Roadway Easement

a. Grant of Roadway Easement. LP and VKD hereby grant perpetual easements, each party to the other, for vehicular and pedestrian ingress and egress over and across the private roadway as shown on Exhibit C (the private roadway, entrance ways and all lighting or similar appurtenances to the roadway shall be collectively referred to as the "Roadway") for the benefit of the LP Parcel and the VKD Parcel (or portion thereof). The easement granted herein shall run with such benefited lands and

encumber the lands hereby conveyed in perpetuity, shall be for the benefit of the benefited parties successors and assigns and shall be binding upon the grantors, successors and assigns. Notwithstanding anything contained herein to the contrary, the location of the Roadway as shown on Exhibit C is only an estimated location and the actual location of the Roadway may be subject to modifications (without a fee, charge, penalty or other compensation to the party affected by such modification or any party claiming through the party affected by such modification) subsequent to the actual construction of the contemplated improvements on the LP Parcel and VKD Parcel and the Roadway shall be reflected on asbuilt drawings of the LP Parcel and VKD Parcel.

b. Use of Roadway. Except as set forth herein, the Roadway shall be used exclusively for vehicular and pedestrian ingress and egress to the LP Parcel and the VKD Parcel (or portion thereof) from 79th Street and 94th Avenue by the owners of the LP Parcel and the VKD Parcel (or portion thereof), their tenants, employees, guests, invitees and licensees.

c. Responsibility for Construction and Maintenance of the Roadway. The Roadway shall be constructed and maintained by LP. For purposes of this Agreement, the party responsible for construction and maintenance of the Roadway shall be designated the "Responsible Party."

d. Standard for Construction & Maintenance. The Roadway shall be constructed in accordance with the procedures and specifications required by the Village of Pleasant Prairie for private roadway construction. The Roadway shall be maintained in a good and attractive condition at all times and in accordance with the specifications of the Village of Pleasant Prairie. The Roadway shall be plowed and salted as necessary for the safe use of the Roadway. The Roadway shall be repaired as necessary to keep the Roadway in a smooth condition and potholes shall be promptly repaired. The entrance ways shall be landscaped and maintained in a manner consistent with the landscaping of the LP Parcel, the VKD Parcel (or portion thereof), if applicable, and the Declaration of Development Standards and Protective Covenants for the Prairie Ridge Commercial Development. All signage and lighting at the entrance ways on the Roadway shall be maintained in good and working condition and consistent with the Declaration of Development Standards and Protective Covenants for the Prairie Ridge Commercial Development.

e. Cost of Maintenance. The owners of the LP Parcel and the VKD Parcel shall be responsible for all costs of maintenance of the Roadway. The owner of the LP Parcel shall pay 90% of such costs and the owner of the VKD parcel shall pay 10% of such costs. The Responsible Party, as applicable, shall prepare an annual budget for maintenance of the Roadway in accordance with the maintenance standards set forth in this Easement Agreement. The annual budget shall include reasonable reserves for repaving and similar capital expenditures. The annual budget shall be submitted to the owner of the VKD Parcel by November 15th of each year and the parties shall agree upon a budget by December 15th of that year. On or before the first day of each month from January through April, the parties shall make a payment equal to 1/6 of their respective portions of the amount of the annual budget into a common fund ("the Roadway Fund"). On the first day of each month from May through August, each party shall make a payment equal to 1/12 of their respective portions of the amount of the annual budget into the Roadway Fund. The Roadway Fund shall be managed by the Responsible Party and shall be held in one or more separate bank accounts at a federally insured financial institution. The Responsible Party shall make timely payments for maintenance from the Roadway Fund. If the Roadway Fund, exclusive of reserves, is insufficient to pay the cost of maintaining the Roadway at any time, each party shall pay its respective share of any shortfall within ten days after receipt of an invoice for any costs which exceed the balance in the Roadway Fund.

f. Right to Cure. If VKD believes the Roadway is not being maintained in accordance with the standards set forth above, VKD may give the Responsible Party written notice describing in reasonable detail the alleged maintenance deficiencies and within ten-business days after receipt of such notice, the Responsible Party shall deliver to VKD a written response. If the Responsible Party agrees to correct any of the described maintenance deficiencies, such correction shall be completed within 30 days after the date of the Responsible Party's response, or, if the correction will take longer than 30 days to complete, it shall be commenced within 30 days and diligently completed as soon as practically possible. If the Responsible Party disputes any condition described in VKD's notice, the Responsible Party shall deliver such response to VKD, in writing, and the dispute shall be settled in accordance with the procedures contained in paragraph 3. If the Responsible Party fails to respond in writing to VKD's notice, VKD, without affecting the obligations of the Responsible Party under this Easement Agreement, may take such action as necessary to correct the maintenance deficiency for which notice was given and the Responsible Party shall pay to VKD 90% of the cost of such repair or maintenance within ten days after receipt of a written demand for payment from VKD, together with copies of all original invoices for the work.

g. Insurance. LP and VKD shall each maintain public liability insurance coverage for the Roadway in amounts mutually agreed upon by VKD and LP and naming the other party (or it's successors or assigns and affiliates and their tenants, employees, invitees and licensees) as additional insureds. Such insurance shall be effective as of the date the Roadway is usable, by construction vehicles or otherwise, as a means of access to the LP Parcel or the VKD Parcel. On March 1 of each year, and at such other times as either party may reasonably request, the parties shall deliver to each other a certificate of insurance from the respective issuers of the insurance policies called for by this paragraph evidencing the required insurance coverage together with evidence of payment of the premium for such insurance.

h. Easement for Municipal Services. Any municipality that provides the LP Parcel or the VKD Parcel with any municipal services, including, without limitation, the Village of Pleasant Prairie and Kenosha County, and their employees and agents, shall have the right to use the Roadway in order to provide municipal services to the LP and VKD Parcels, including, without limitation, maintenance of municipal utilities and emergency services.

i. Easement for Construction Purposes. VKD and LP shall have the right to use the Roadway in order to provide construction access to both the VKD Parcel and LP Parcel relating to the construction of improvements or development activities on either parcel or as otherwise required, as reasonably determined by VKD, to service other parcels of land within Prairie Ridge. To the extent possible, such construction access shall be limited to between the hours of 6:00 a.m. and 7:00 p.m. Monday through Friday.

2. Access Easement

a. Grant of Access Easement. LP hereby grants to VKD an easement in gross for the benefit of the VKD Parcel (or portion thereof) for pedestrian ingress and egress over and across only those portions of the LP Parcel delineated by the cross-hatch markings shown on the attached Exhibit D ("Access Easement"). Pedestrian ingress and egress shall include the right to remain on the Access Easement for purposes of utilizing facilities/amenities, if any, which are intended to be for the common use and enjoyment of the residents of the Senior Continuum of Care Community. Such facilities/amenities, if any, may include, without limitation, a gazebo, picnic/grilling area and other similar types of recreational areas. The use of the Access Easement may be subject to reasonable

restrictions adopted and agreed upon by both LP and VKD. The Access Easement granted herein shall run with such benefited lands and encumber the LP Parcel in perpetuity, shall be for the benefit of VKD and its successors and assigns and their tenants, employees, guests, invitees and licensees, and shall be binding upon the grantee's successors and assigns. Notwithstanding anything contained herein to the contrary, the areas shown to encompass the Access Easement are only estimated areas and the actual location of the Access Easement may be subject to modifications (without a fee, charge, penalty or other compensation to the party affected by such modification or any party claiming through the party affected by such modification) subsequent to the actual construction of the contemplated improvements on the LP Parcel and the Access Easement shall be reflected on asbuilt drawings of the LP Parcel.

b. Use of Access Easement. Except as set forth herein, the Access Easement shall be used exclusively for pedestrian ingress and egress to the LP Parcel by the owner(s) of the VKD parcel (or portion thereof), their tenants, employees, invitees and licensees.

c. Responsible for Maintenance. Except for damage caused by VKD and its successors and assigns and their tenants, employees, guests, invitees and licensees, LP shall be responsible for all maintenance of the Access Easement, and the facilities/amenities contained thereon, and the costs thereof. The easement area shall be maintained in a good and attractive condition at all times and in accordance with the Declaration of Development Standards and Protective Covenants for the Prairie Ridge Commercial Development.

d. Insurance. LP shall maintain public liability insurance coverage for the Access Easement in an amount mutually agreed upon by VKD and LP and naming VKD (or its successors or assigns and affiliates and their tenants, employees, invitees and licensees) as additional insureds.

e. Easement for Municipal Services. Any municipality that provides the Access Easement with any municipal services including without limitation the Village of Pleasant Prairie and Kenosha County, and their employees and agents, shall have the right to use the Access Easement in order to provide municipal services to the LP Parcel and/or VKD parcel including, without limitation, maintenance of municipal utilities and emergency services.

f. Easement for Construction Purposes. VKD and LP shall have the right to use the Access Easement in order to provide construction access to both the VKD Parcel and LP Parcel relating to the construction of improvements or development activities on either parcel or as otherwise required, as reasonably determined by VKD, to service other parcels of land within Prairie Ridge. To the extent possible, such construction access shall be limited to between the hours of 6:00 a.m. and 7:00 p.m. Monday through Friday.

3. Resolution of Disputes/Arbitration. LP and VKD agree that any dispute between LP and VKD arising under this Easement Agreement or in any way connected with the rights, duties or obligation of the parties to this Easement Agreement shall be resolved through arbitration under the procedures set forth in this paragraph.

a. The party desiring to submit a dispute to arbitration ("Claimant") shall give written notice to the other party ("Respondent") containing (i) a demand for arbitration; (ii) a concise description of the dispute; and (iii) the Claimant's desired resolution of the dispute.

b. Within ten (10) days after Claimant's notice, the parties shall obtain from the American Arbitration Association a list containing not more than five (5) arbitrators actively

engaged in the licensed and full time practice of construction and real estate in the State of Wisconsin for a continuous period of not less than ten (10) years. Within ten (10) days after the receipt of such list of arbitrators the parties shall appoint the arbitrator under the procedure set forth herein. Each party shall have two strikes (with the Respondent having the last strike) in order to eliminate four of the five arbitrators. The remaining arbitrator shall be the "Arbitrator." In the event that any party fails to timely follow the procedures set forth above in order to appoint the Arbitrator, such dispute or disagreement shall automatically be deemed resolved against such party.

c. The hearing before the Arbitrator shall be held in whatever manner the Arbitrator chooses as the most efficient and fair method of resolving the dispute. Any party may be represented at the hearing by an attorney or authorized representative. The parties may offer such evidence and make such argument as the Arbitrator allows as relevant and material and the Arbitrator may require the parties to submit such other evidence as the Arbitrator deems necessary for resolution of the dispute.

d. The Arbitrator shall close the hearing when he deems appropriate and shall render a written decision signed by the Arbitrator as soon as possible and in any event, within ten business days after the close of the hearing. The Arbitrator's decision shall be final, conclusive and binding upon the Claimant and Respondent and judgment upon the decision may be entered in any court having jurisdiction over the parties and the dispute may not be appealed to any court of competent jurisdiction or otherwise except upon claim of fraud, corruption or knowing and willful failure to apply the provisions of this arbitration mechanism and/or applicable substantive law on the part of the Arbitrator, provided however, that implementation of the Arbitrator's decisions shall in no way be delayed or otherwise impaired pending the outcome of any such appeal. If any party fails to comply with the decision of the Arbitrator, the other party may file suit or seek any other remedy available at law or in equity without complying with the procedures in this section.

e. Each party shall pay one-half (1/2) the cost of the Arbitrator. If any party takes action to enforce the decision of the Arbitrator, such party shall be entitled to recover all costs and expenses of such action from the noncomplying party.

4. Notices. All notices or other communications required or permitted to be given by this Easement Agreement shall be in writing and shall be considered as properly given if mailed by first-class United States mail, postage prepaid, registered or certified with return receipt requested, or delivered to the intended addressee in person or delivered to an overnight courier service. Notice that is mailed or given to the overnight courier service shall be effective upon its deposit in the United States mail or when given to the overnight courier services. Notice given in any other manner shall be effective only if and when received by the addressee.

5. Binding Agreement. The easements granted herein and the other provisions of this Easement Agreement shall run with the land and be binding upon and inure to the benefit of LP, VKD, their respective successors and assigns and all parties having or subsequently obtaining an interest in the LP Parcel or the VKD Parcel.

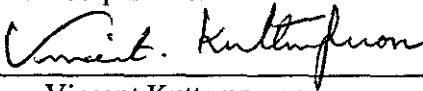
6. Amendments. This Easement Agreement may be amended only by a writing signed by all owners of the LP Parcel and the VKD Parcel and duly recorded in the Office of the Register of Deeds of Kenosha County.

PRAIRIE RIDGE TAX CREDIT SENIOR HOUSING
LIMITED PARTNERSHIP, a Wisconsin limited partnership

BY: PRAIRIE RIDGE SENIOR TAX CREDIT LLC,
General Partner

BY: 
Sanjay Kuttemperoor
Member

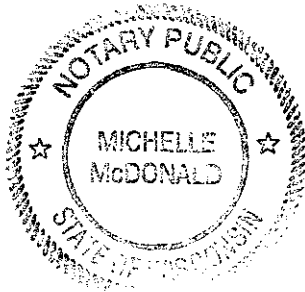
V. K. DEVELOPMENT CORPORATION,
a Wisconsin corporation

BY: 
Vincent Kuttemperoor
President

State of Wisconsin)
: SS
County of Waukesha)

This instrument was acknowledged before me on December 16, 1998 by Sanjay Kuttemperoor as a Member of the Prairie Ridge Senior Tax Credit LLC, general partner of the Prairie Ridge Tax Credit Senior Housing Limited Partnership.

(Seal)

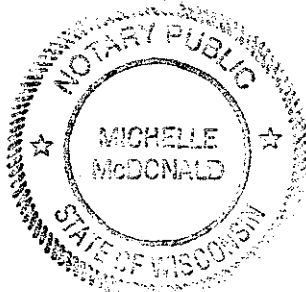


Michelle McDonald
(Michelle McDonald)
Notary Public, State of Wisconsin
My Commission expires 5-5-02

State of Wisconsin)
: SS
County of Waukesha)

This instrument was acknowledged before me on December 16, 1998 by Vincent Kuttemperoor as President of V. K. Development Corporation, a Wisconsin corporation.

(Seal)



Michelle McDonald
(Michelle McDonald)
Notary Public, State of Wisconsin
My Commission expires 5-5-02

This document was drafted by and after recording should be returned to:

Sanjay Kuttemperoor, Esq.
19275 W. Capitol Drive
Brookfield, WI 53045-2734

BARBARA
BLUMHART
COUNTY, INC.
(414) 342-8300

COPY

FORM BSC-101

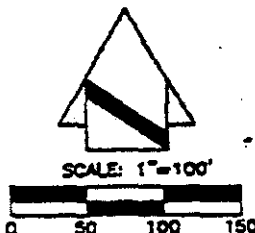
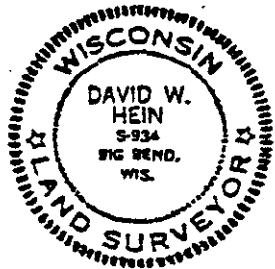
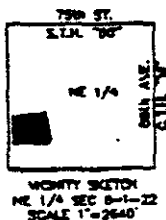
CERTIFIED SURVEY MAP NO. 2004 Page 1 of 4
Being a redivision of part of Outlot 9 of Prairie Ridge,
a recorded subdivision in Section 8 and being a part of the
SW 1/4 of the NE 1/4 of Section 8, Town 1 North, Range 22 East,
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

LEGEND:

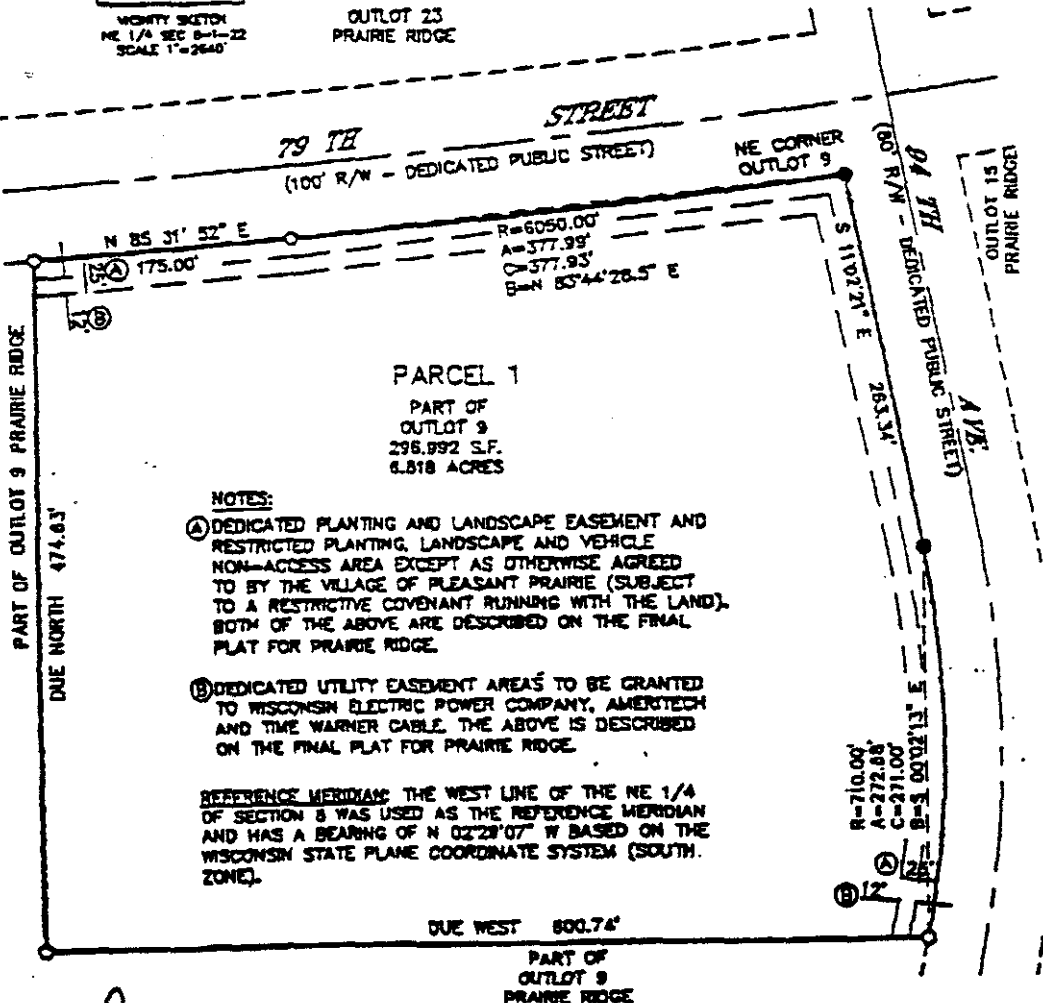
○ Iron pipe 24" x 1" dia. (placed)
1.13 + lbs per lin. ft.

● Iron pipe 30" x 2" dia.
3.15 + lbs per lin. ft.

EXHIBIT A



OUTLOT 23
PRAIRIE RIDGE



- NOTES:**
- Ⓐ DEDICATED PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA EXCEPT AS OTHERWISE AGREED TO BY THE VILLAGE OF PLEASANT PRAIRIE (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). BOTH OF THE ABOVE ARE DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE.
 - Ⓑ DEDICATED UTILITY EASEMENT AREAS TO BE GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, AMERTECH AND TIME WARNER CABLE. THE ABOVE IS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE.

REFERENCE MERIDIAN: THE WEST LINE OF THE NE 1/4 OF SECTION 8 WAS USED AS THE REFERENCE MERIDIAN AND HAS A BEARING OF N 02°23'07" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

David W. Hein
DAVID W. HEIN - WIS. REG. NO. 5-934

DATED THIS 17TH DAY OF AUGUST, 1998
INSTRUMENT DRAFTED BY DAVID W. HEIN

OWNER: V.J. DEVELOPMENT CORPORATION
P.S. KENOSHA 112

RAMM
BLUMENT
COMPANY, INC.
(414) 542-0200

FORM 88C-101

CERTIFIED SURVEY MAP NO. 2014 Page 2 of 4
Being a redivision of part of Outlot 9 of Prairie Ridge,
a recorded subdivision in Section 8 and being a part of the
SW 1/4 of the NE 1/4 of Section 8, Town 1 North, Range 22 East,
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, David W. Hein, registered land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

Being a redivision of part of Outlot 9 of Prairie Ridge, a recorded subdivision in Section 8 and being a part of the Southwest Quarter (SW 1/4) of the Northeast Quarter (NE 1/4) of Section 8, Town 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, Beginning at the northeast corner of said Outlot 9; thence South 11°02'21" East along the west right-of-way line of 94th Avenue, 263.34 feet; thence Southeasterly 272.68 feet along said west right-of-way line and along the arc of a curve of radius 710.00 feet, center lies to the west, chord of said arc bears South 00°02'13" East 271.00 feet; thence Due West 600.74 feet; thence Due North 474.63 feet to the south right-of-way line of 79th Street; thence North 85°31'52" East along said south right-of-way line 175.00 feet; thence northeasterly 377.99 feet along said South right-of-way line and along the arc of a curve of radius 6050.00 feet, center lies to the north, chord of said arc bears North 83°44'28.5" East 377.93 feet to the place of beginning. Containing 296,992 square feet (6.818 acres) of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the Land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the Village of Pleasant Prairie in surveying, dividing and mapping the same.

David W. Hein

DAVID W. HEIN - Wis. Reg. No. S-934



STATE OF WISCONSIN) ss
COUNTY OF WAUKESHA)

The above certificate subscribed and sworn to me this 17TH day of AUGUST, 1998.

My commission expires August 26, 2001.

Mary K. Cooney

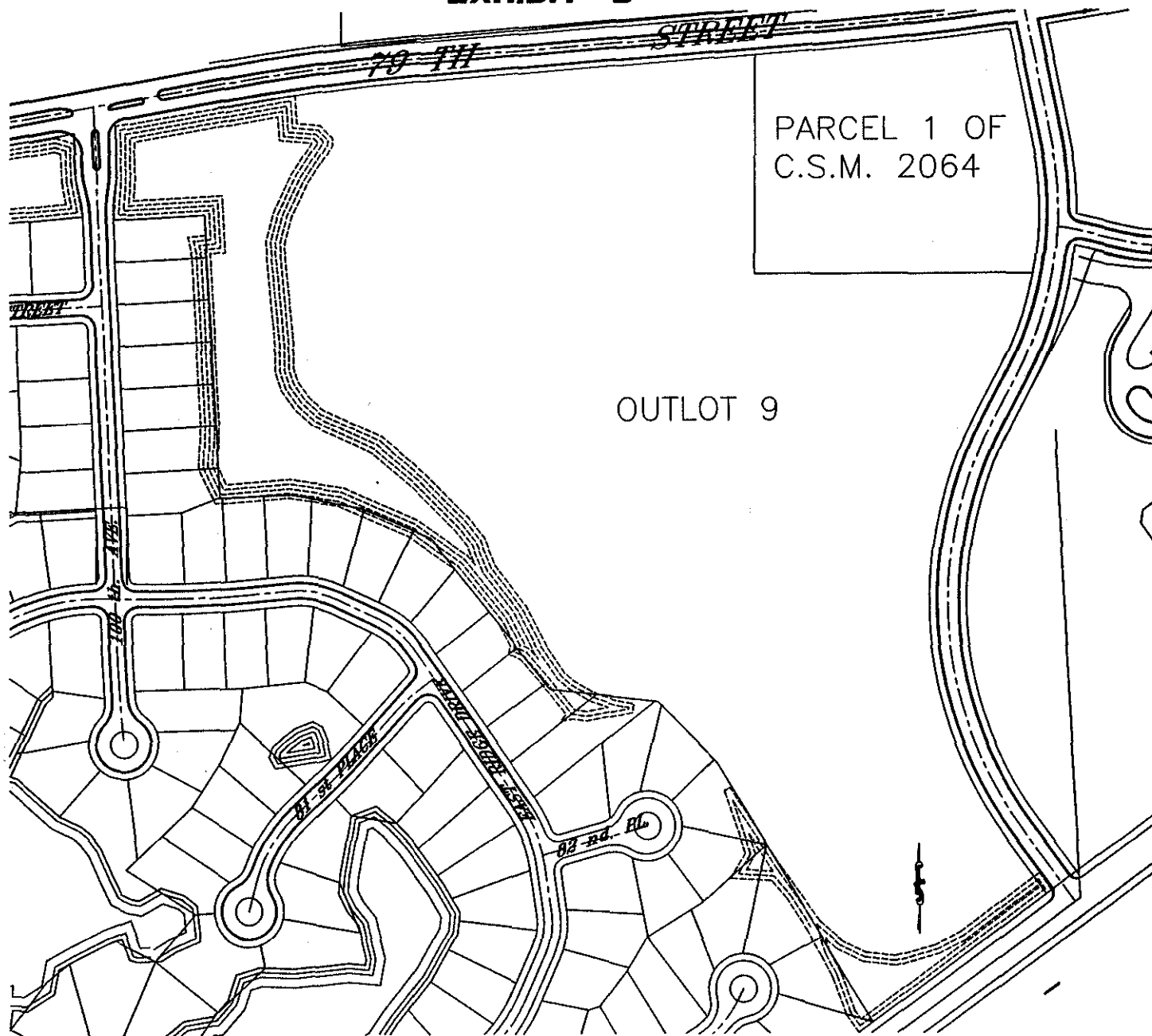
MARY K. COONEY - NOTARY PUBLIC

OWNER: V.K. DEVELOPMENT CORPORATION

Instrument drafted by David W. Hein

P.S. Kenosha 112

EXHIBIT 'B'



VK
1875 W. CAPITAL DR.
BROOKFIELD, WI 53005
OFFICE: 414-770-0200
FAX: 414-770-0202
E-MAIL: vk@vke.com

VK DESIGN, INC.
VK DEVELOPMENT, LLC
VK ENGINEERING, INC.
VK SURVEYING, INC.
VK UTILITY, INC.

DATE: 08-08-08
SCALE: 1"=40'-0"

PRAIRIE RIDGE SENIOR CENTER
PLEASANT PARK, II

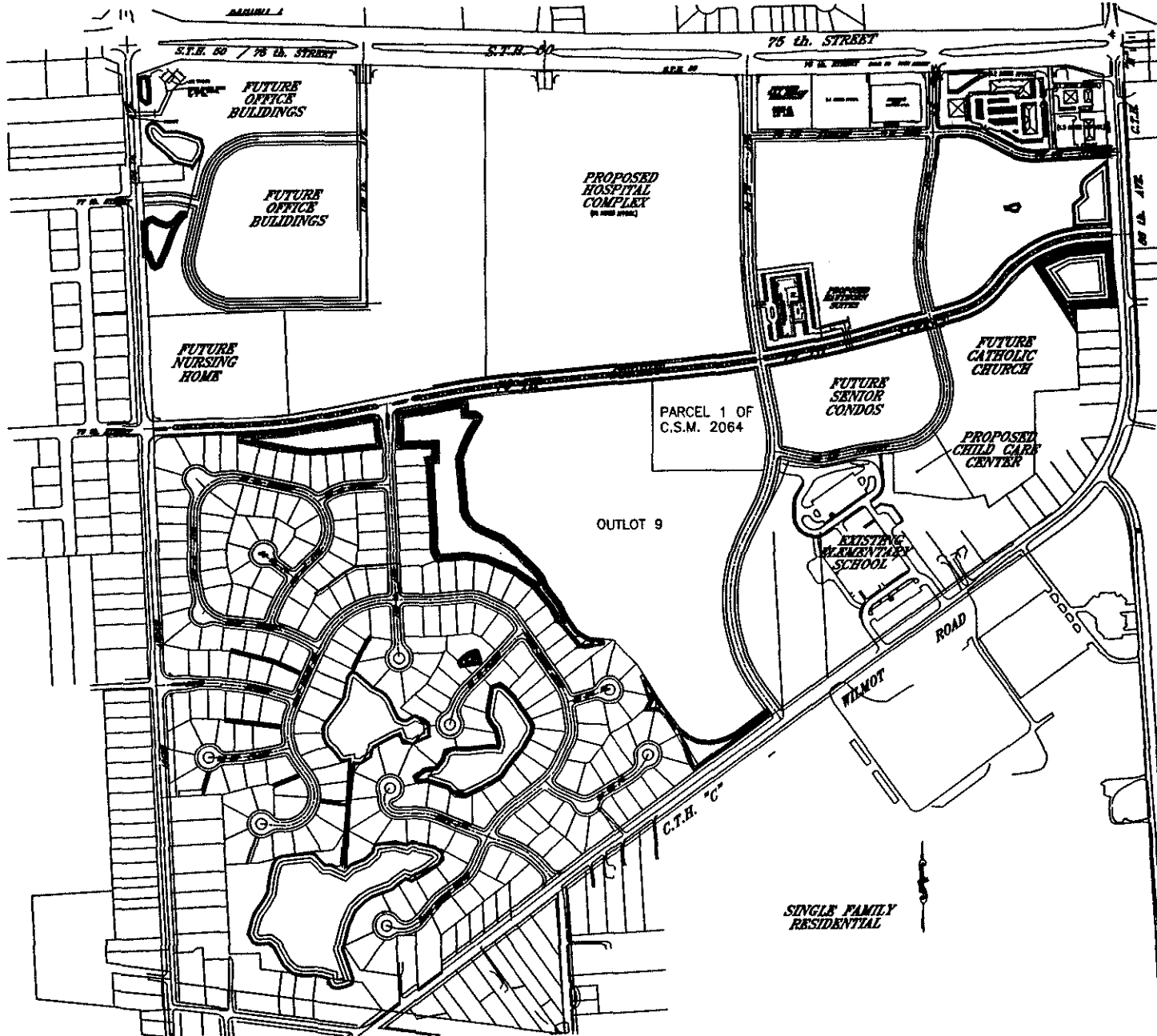
SITE PLAN

DATE: 08-08-08
JOB NUMBER: 080808
DRAWN BY: [unintelligible]

SCALE: 1"=40'-0"

A02

EXHIBIT 'B'



10075 W. CARROLL DR.
BROOKFIELD, WI
53005

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FAX 262-770-0000
E-MAIL vk@vkd.com

WE DESIGN, INC.
WE DEVELOP, INC.
WE DESIGN, P.C.
WE BUILD, P.C.

LORE & ASSOCIATES, INC.
262-770-0000
262-770-0000
E-MAIL vk@vkd.com

DATE: 10/15/00
SCALE: AS SHOWN
DRAWN BY: [illegible]

PROJECT:

PRairie Ridge Senior Center

PLEASANT PRairie, WI

DATE: 10/15/00

SITE PLAN

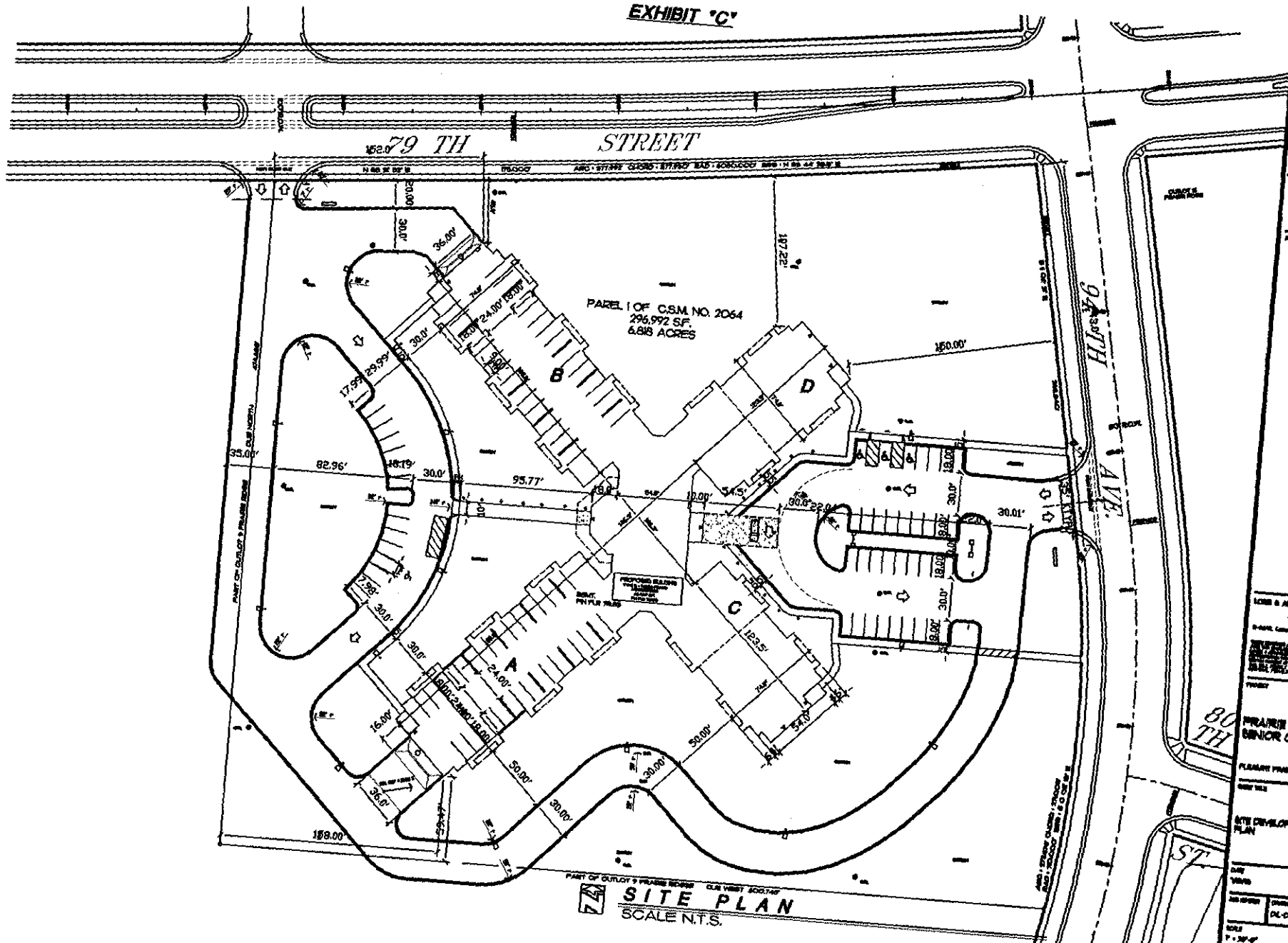
DATE: 10/00

DRAWN BY: [illegible] CHECKED BY: [illegible]

SCALE: 1/4" = 1'-0"

NO. A02

EXHIBIT 'C'



PAREL 1 OF C.S.M. NO. 2064
 296,992 SF.
 6.818 ACRES

74
SITE PLAN
 SCALE N.T.S.

VK
 1075 W. CANTON DR.
 BROOKFIELD, WI
 53005
 OFFICE: 262-781-0000
 FAX: 262-781-0000
 E-MAIL: vk@vkc.com
 VE FORMS, INC.
 VE DEVELOPMENT, INC.
 VE DESIGN, INC.
 VE IMPACT, LLC

LENN & ASSOCIATES, P.C.
 1000 W. WISCONSIN
 MILWAUKEE, WI 53233
 PROJECT

PREMIER RIDGE
 SENIOR CENTER

FLORIAN PARK, II

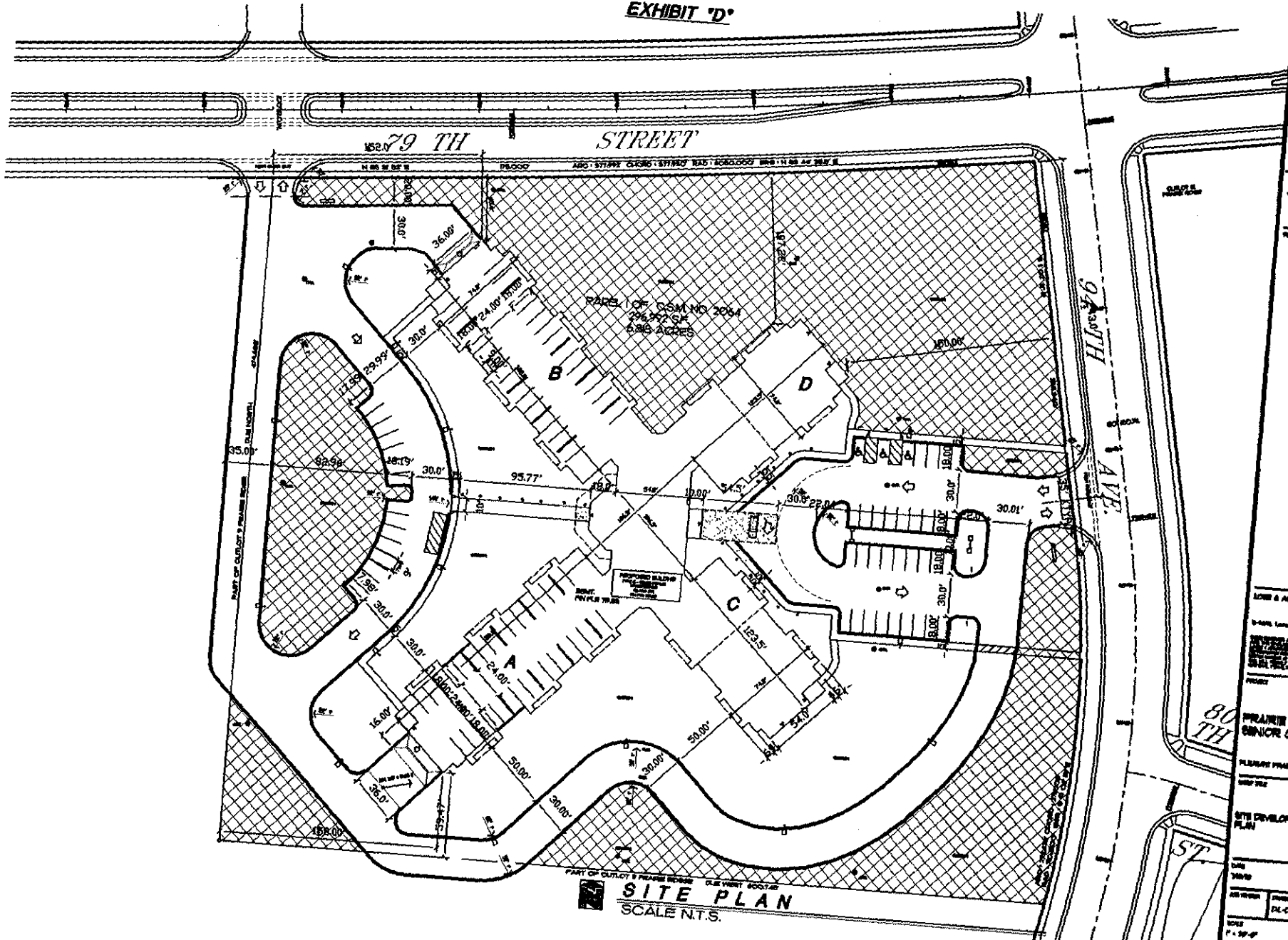
NEW TOWN

SITE DEVELOPMENT
 PLAN

DATE
 10/20/07
 DRAWN BY
 DL-08
 SCALE
 1" = 30'-0"

401

EXHIBIT 'D'




SITE PLAN
 SCALE N.T.S.

VK
 1007 W. CARROLL DR.
 BROOKFIELD, WI 53005
 OFFICE 262-784-4444
 FAX 262-784-4444
 WWW.VKINC.COM
 VK HOME, INC.
 VK EMPLOYMENT CENTER
 VK FINANCIAL, INC.
 VK RENTAL, INC.

LINDS & ASSOCIATES, P.C.
 1000 W. WISCONSIN
 SUITE 200
 MILWAUKEE, WI 53233
 PROJECT:

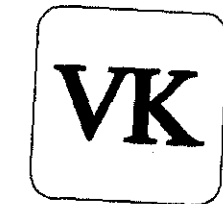
PREMIER RIDGE SENIORS CENTER

PLANNED PHASE II

SITE DEVELOPMENT PLAN

DATE: 11/11/09
 DRAWN BY: DL/CR
 CHECKED BY: DL/CR
 SCALE: 1" = 40'-0"
 SHEET: 1 OF 2

80 TH
 87



VK DEVELOPMENT CORPORATION
 19275 W. CAPITOL
 BROOKFIELD, WI. 53045
 TEL: 414-780-6000 FAX: 414-780-6010

PRAIRIE RIDGE

VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WISCONSIN

PRAIRIE RIDGE SENIOR CAMPUS CONCEPTUAL MASTER SITE DEVELOPMENT PLAN

SITE DATA

SITE AREA	2,321,848SF - 53.3AC
PROPOSED BUILDINGS	9 - BUILDINGS 960 UNITS
DENSITY	18 UNITS/AC



1" = 200'

PRAIRIE RIDGE SENIOR CAMPUS

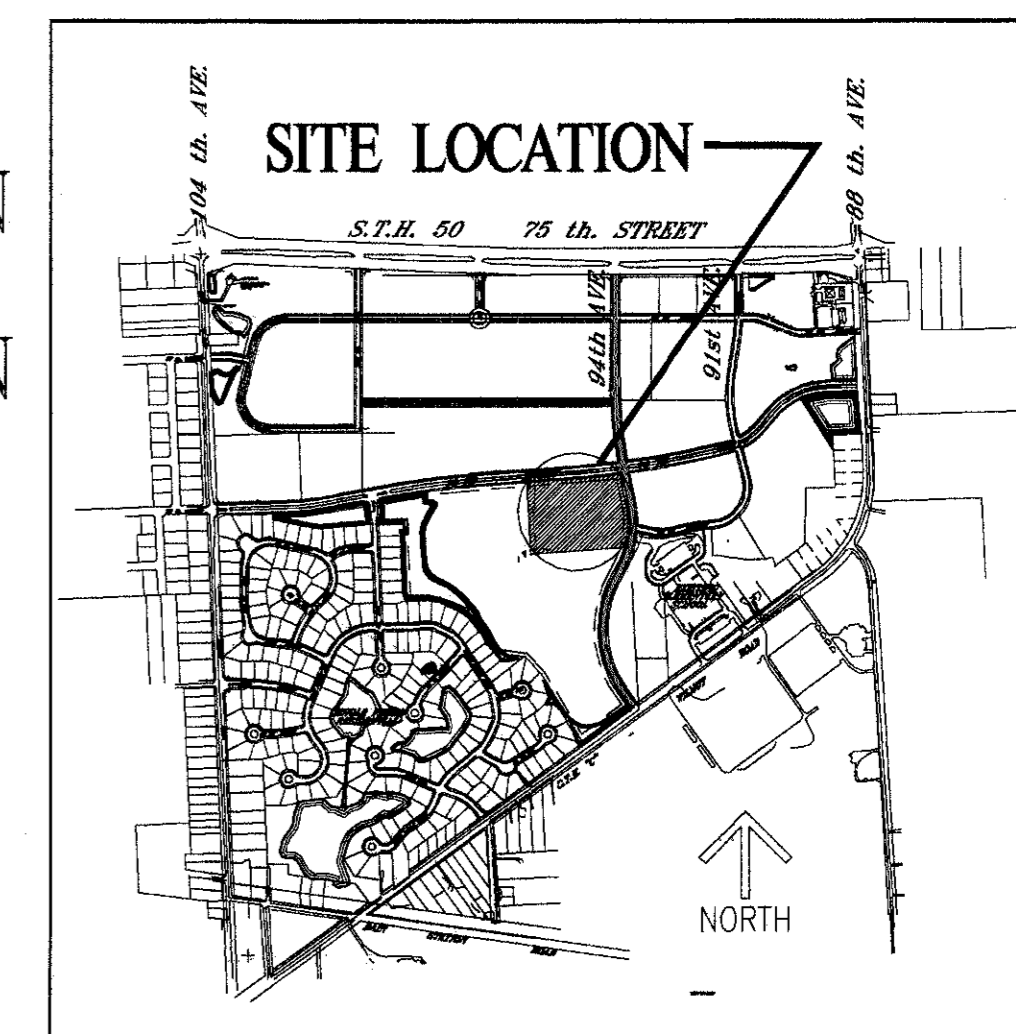
A CONTINUUM OF CARE



SHEET INDEX

T1.1	TITLE SHEET	A1.1-D	WING "D" BASEMENT / FOUNDATION PLAN
A0.1	SITE DEVELOPMENT PLAN	A1.2-D	WING "D" FIRST FLOOR PLAN
A0.2	SITE GRADING	A1.3-D	WING "D" SECOND FLOOR PLAN
A0.3	SITE LANDSCAPING PLAN	A1.4-D	WING "D" THIRD FLOOR PLAN
A0.4	SITE LIGHTING PLAN	A2.1	EXTERIOR ELEVATION - CAMPUS
A0.5	SITE UTILITY PLAN	A2.2	EXTERIOR ELEVATION - COMMONS AREA
A0.6	SITE DETAILS	A2.3	EXTERIOR ELEVATION - WING "A" & "B"
A1.1	CAMPUS BASEMENT / FOUNDATION PLAN	A2.4	EXTERIOR ELEVATION - WING "C" & "D"
A1.2	CAMPUS FIRST FLOOR PLAN	A3.1	TYPICAL UNIT FLOOR PLANS
A1.3	CAMPUS SECOND FLOOR PLAN	A3.2	TYPICAL WING SECTION
A1.4	CAMPUS THIRD FLOOR PLAN	A3.3	COMMONS AREA CROSS SECTION
A1.5	COMMONS BASEMENT / FOUNDATION PLAN	A3.4	DOOR SCHEDULE & WINDOW TYPES
A1.6	COMMONS FIRST FLOOR PLAN	S1.1	FIRST FLOOR STRUCTURAL PLAN
A1.7	COMMONS SECOND FLOOR PLAN	S1.2	SECOND FLOOR STRUCTURAL PLAN
A1.8	COMMONS THIRD FLOOR PLAN	S1.3	THIRD FLOOR STRUCTURAL PLAN
A1.9	CAMPUS ROOF PLAN	S1.4	ROOF STRUCTURAL PLAN
A1.1-A	WING "A" BASEMENT / FOUNDATION PLAN	E1.1	BASEMENT ELECTRICAL PLAN
A1.2-A	WING "A" FIRST FLOOR PLAN	E1.2	FIRST FLOOR ELECTRICAL PLAN
A1.3-A	WING "A" SECOND FLOOR PLAN	E1.3	SECOND FLOOR ELECTRICAL PLAN
A1.4-A	WING "A" THIRD FLOOR PLAN	E1.4	THIRD FLOOR ELECTRICAL PLAN
A1.1-B	WING "B" BASEMENT / FOUNDATION PLAN	E1.5	TYPICAL UNITS ELECTRICAL PLAN
A1.2-B	WING "B" FIRST FLOOR PLAN		
A1.2-B	WING "B" SECOND FLOOR PLAN		
A1.4-B	WING "B" THIRD FLOOR PLAN		
A1.1-C	WING "C" BASEMENT / FOUNDATION PLAN		
A1.2-C	WING "C" FIRST FLOOR PLAN		
A1.3-C	WING "C" SECOND FLOOR PLAN		
A1.4-C	WING "C" THIRD FLOOR PLAN		

Vincent Kuttel
1/29/99



SITE AND OPERATIONAL PLAN REVIEW RECORD

	DATE	SIGNATURE
PLANNING & ZONING	2/3/99	<i>[Signature]</i>
ENGINEERING	5-4-99	<i>[Signature]</i>
FIRE/RESCUE	3/2/99	<i>[Signature]</i>
POLICE DEPARTMENT	3-11-99	<i>[Signature]</i>
ADMINISTRATOR	5-26-99	<i>[Signature]</i>
PLAN COMMISSION	5/24/99	<i>[Signature]</i>
THESE PLANS ARE RELEASED FOR PERMITS BY <i>[Signature]</i>		
DATE	3/13/99	

VK
19275 W. CAPITOL DR.
BROOKFIELD, WI
53045
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E-MAIL vkdc@execpc.com
VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS
10/16/98 - REVISED
11/14/98 - REVISED

LOSEE & ASSOCIATES, INC.
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E-MAIL Losee@sprintmail.com

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PROJECT
PRAIRIE RIDGE SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

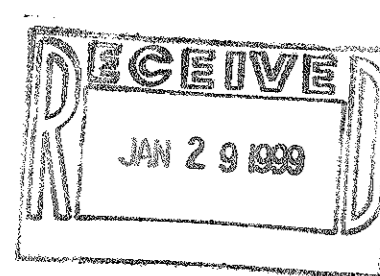
TITLE SHEET

DATE
10/23/98

JOB NUMBER
NLN / BJK

SCALE
1/8"=1'-0"

SHEET
T1.1



Village Copy



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VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS

REVISIONS PER PLEASANT PRAIRIE
REVISIONS PER PLEASANT PRAIRIE SUBMITTAL
PLEASANT PRAIRIE SUBMITTAL

9/24/98
9/25/98
7/15/98

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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

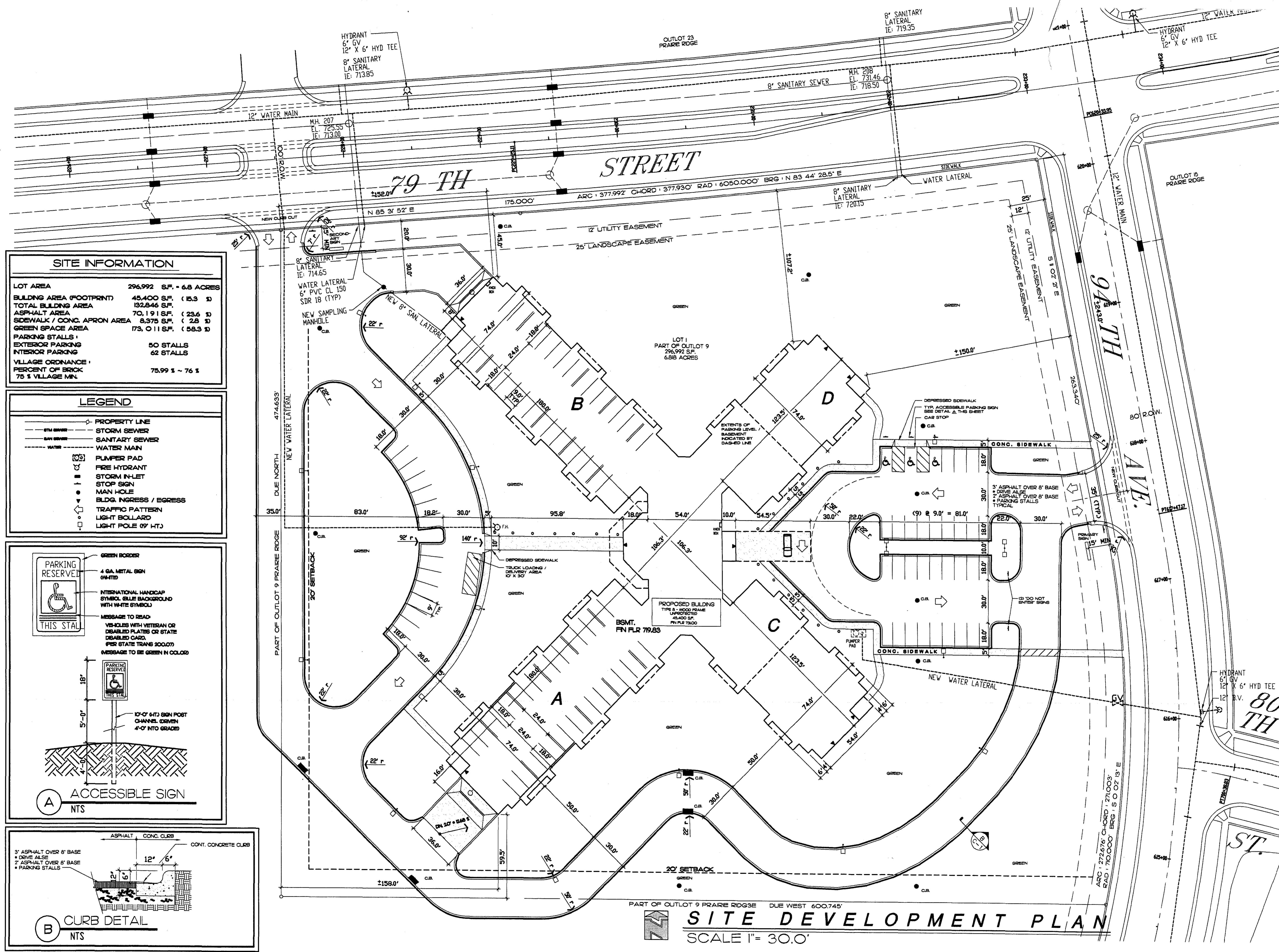
SITE DEVELOPMENT PLAN

DATE
7/10/98

JOB NUMBER
DRAWN BY
D/L-DB

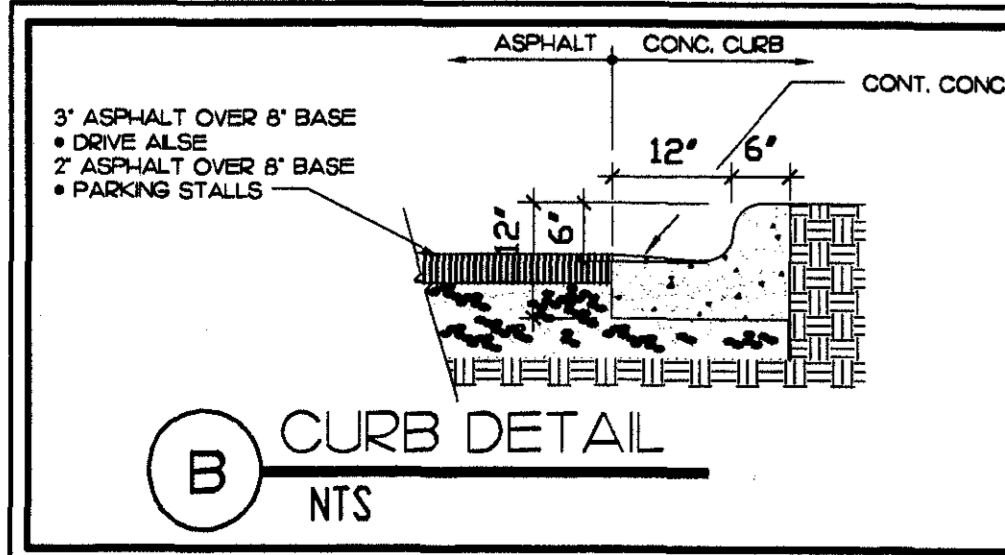
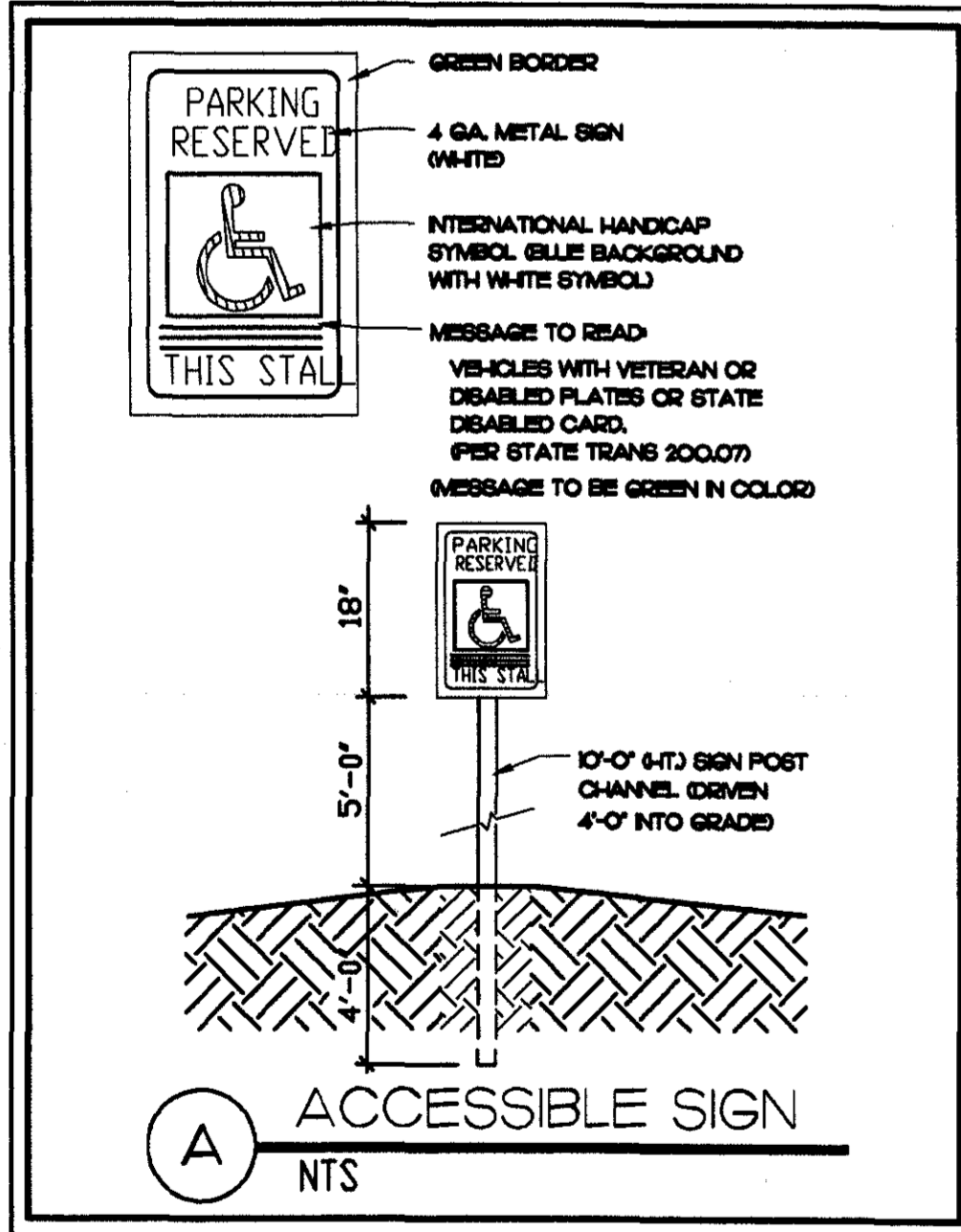
SCALE
1" = 30'-0"

SHEET



SITE INFORMATION	
LOT AREA	296,992 S.F. = 6.8 ACRES
BUILDING AREA (FOOTPRINT)	45,400 S.F. (15.3 %)
TOTAL BUILDING AREA	132,846 S.F.
ASPHALT AREA	70,191 S.F. (23.6 %)
SIDEWALK / CONC. APRON AREA	8,375 S.F. (2.8 %)
GREEN SPACE AREA	173,011 S.F. (58.3 %)
PARKING STALLS	
EXTERIOR PARKING	50 STALLS
INTERIOR PARKING	62 STALLS
VILLAGE ORDINANCE	
PERCENT OF BRICK	75.99 % ~ 76 %
75 % VILLAGE MIN.	

LEGEND	
	PROPERTY LINE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	PUMPER PAD
	FIRE HYDRANT
	STORM INLET
	STOP SIGN
	MAN HOLE
	BLDG. INGRESS / EGRESS
	TRAFFIC PATTERN
	LIGHT BOLLARD
	LIGHT POLE (9' HT.)



PART OF OUTLOT 9 PRAIRIE RIDGE DUE WEST 600.745'
SITE DEVELOPMENT PLAN
SCALE 1" = 30'-0"



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E-MAIL vkdc@excpc.com

VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS

REVISIONS PER PLEASANT PRAIRIE
SUBMITTAL
PLEASANT PRAIRIE SUBMITTAL
PLEASANT PRAIRIE SUBMITTAL

9/24/98
8/31/98
7/15/98
2/15/98

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FEB 25 1999

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E-MAIL Losee@sprintmail.com

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CRIMINAL PENALTIES.

PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

SITE GRADING
& EROSION
CONTROL PLAN

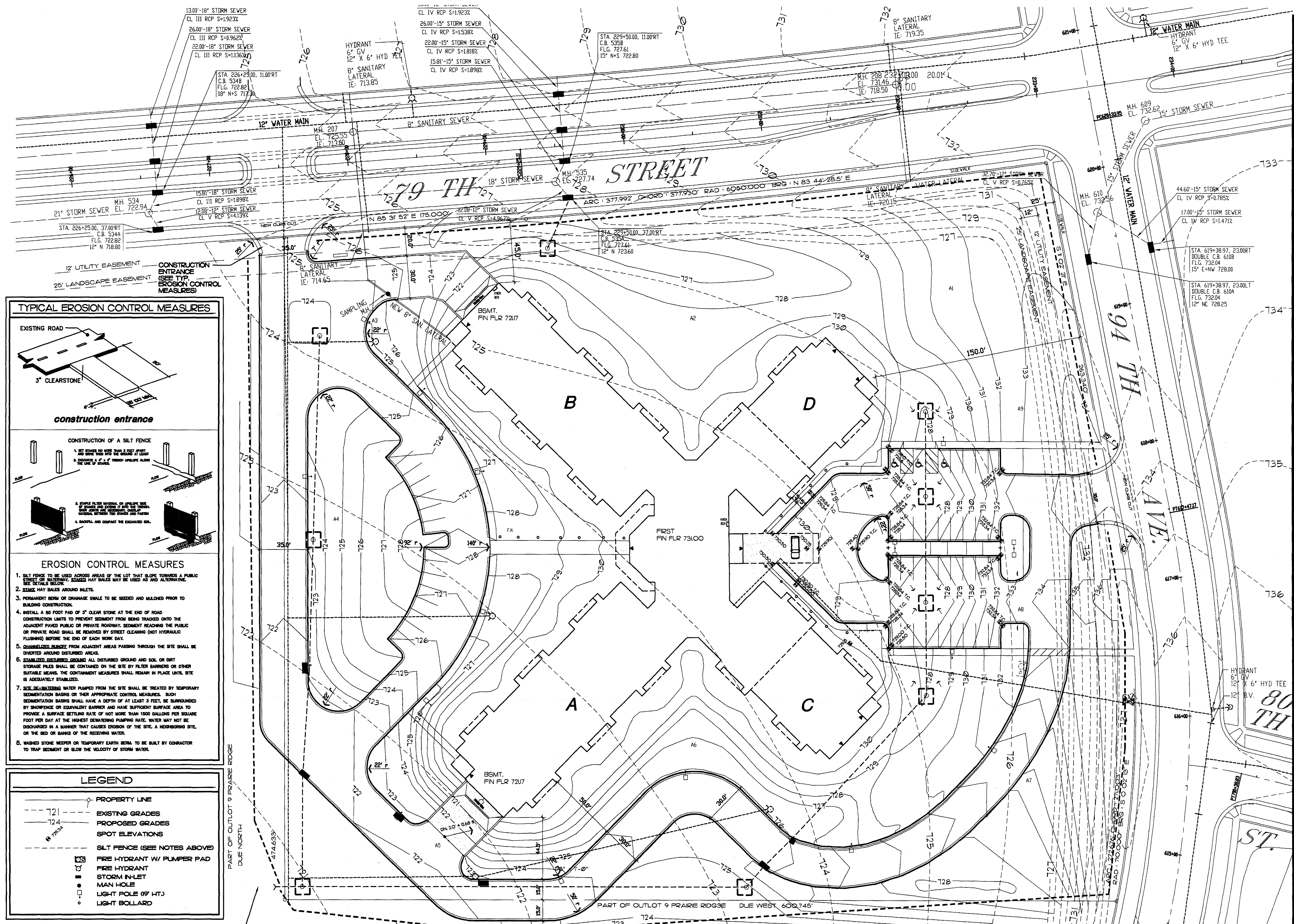
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1/10/98

JOB NUMBER
DRAIN BY
D/L-DB

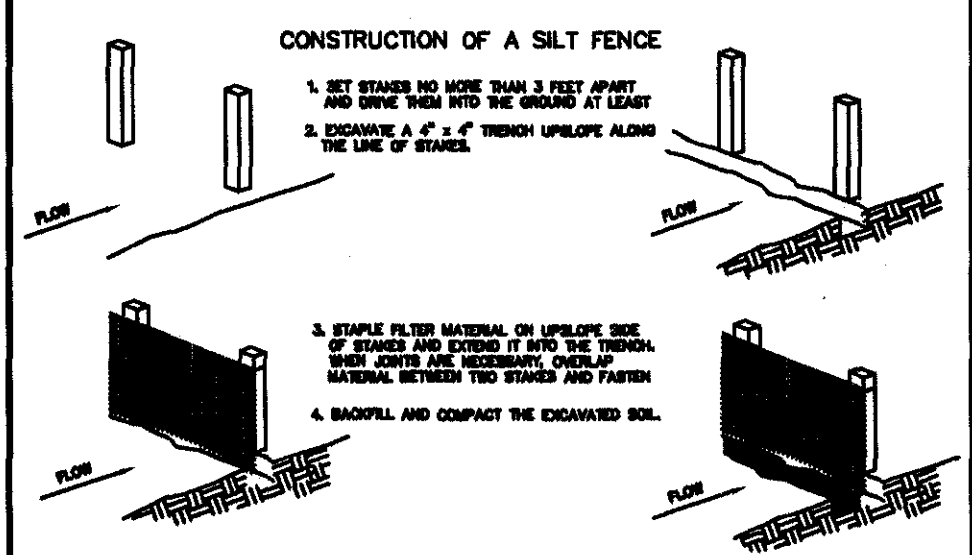
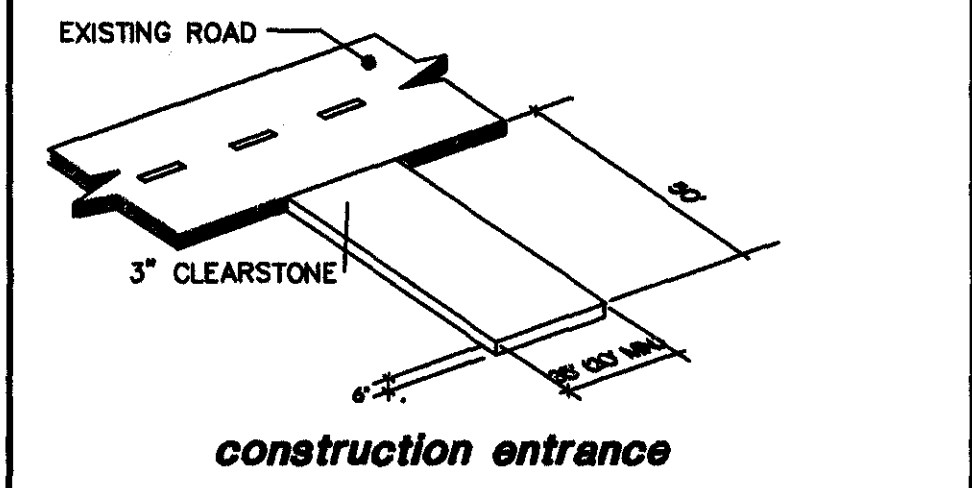
SCALE
1" = 30'-0"

SHEET

AO2



TYPICAL EROSION CONTROL MEASURES



EROSION CONTROL MEASURES

1. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC SITE OR HIGHWAY. STAKES MAY BE USED AS AN ALTERNATIVE. SEE DETAILS BELOW.
2. STAKE MAY BALES AROUND INLETS.
3. PERMANENT BERM OR DRAINAGE SWALE TO BE SEEDED AND MULCHED PRIOR TO BUILDING CONSTRUCTION.
4. INSTALL A 60 FOOT PAD OF 3" CLEAR STONE AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC OR PRIVATE ROADWAY. SEDIMENT TRACKING THE PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
5. CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
6. STABILIZED DISTURBED GROUND AND SOIL OR DIRT STORAGE PILES SHALL BE CONTAINED ON THE SITE BY FILTER BARRIERS OR OTHER SUITABLE MEANS. THE CONTAINMENT MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS ADEQUATELY STABILIZED.
7. SITE DE-WATERING WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR THEIR APPROPRIATE CONTROL MEASURES. SUCH SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NOT MORE THAN 1000 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DRAINING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER.
8. WASHED STONE WEEPER OR TEMPORARY EARTH BERM TO BE BUILT BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.

LEGEND

- PROPERTY LINE
- - - 721 - - - EXISTING GRADES
- - - 724 - - - PROPOSED GRADES
- SPOT ELEVATIONS
- - - SILT FENCE (SEE NOTES ABOVE)
- ☒ FIRE HYDRANT W/ PUMPER PAD
- ☒ FIRE HYDRANT
- ☒ STORM IN-LET
- ☒ MAN HOLE
- ☒ LIGHT POLE (9' HT.)
- LIGHT BOLLARD

CONTRACTOR TO PROVIDE SWALE TO RETENTION BASIN TO WEST

TYP. SILT FENCE (SEE TYP. EROSION CONTROL PLAN)

SITE GRADING AND EROSION CONTROL PLAN
SCALE 1" = 30'-0"



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53045

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VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS

9/24/98
8/31/98
7/15/98

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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

SITE GRADING PLAN

DATE

1/10/98

JOB NUMBER

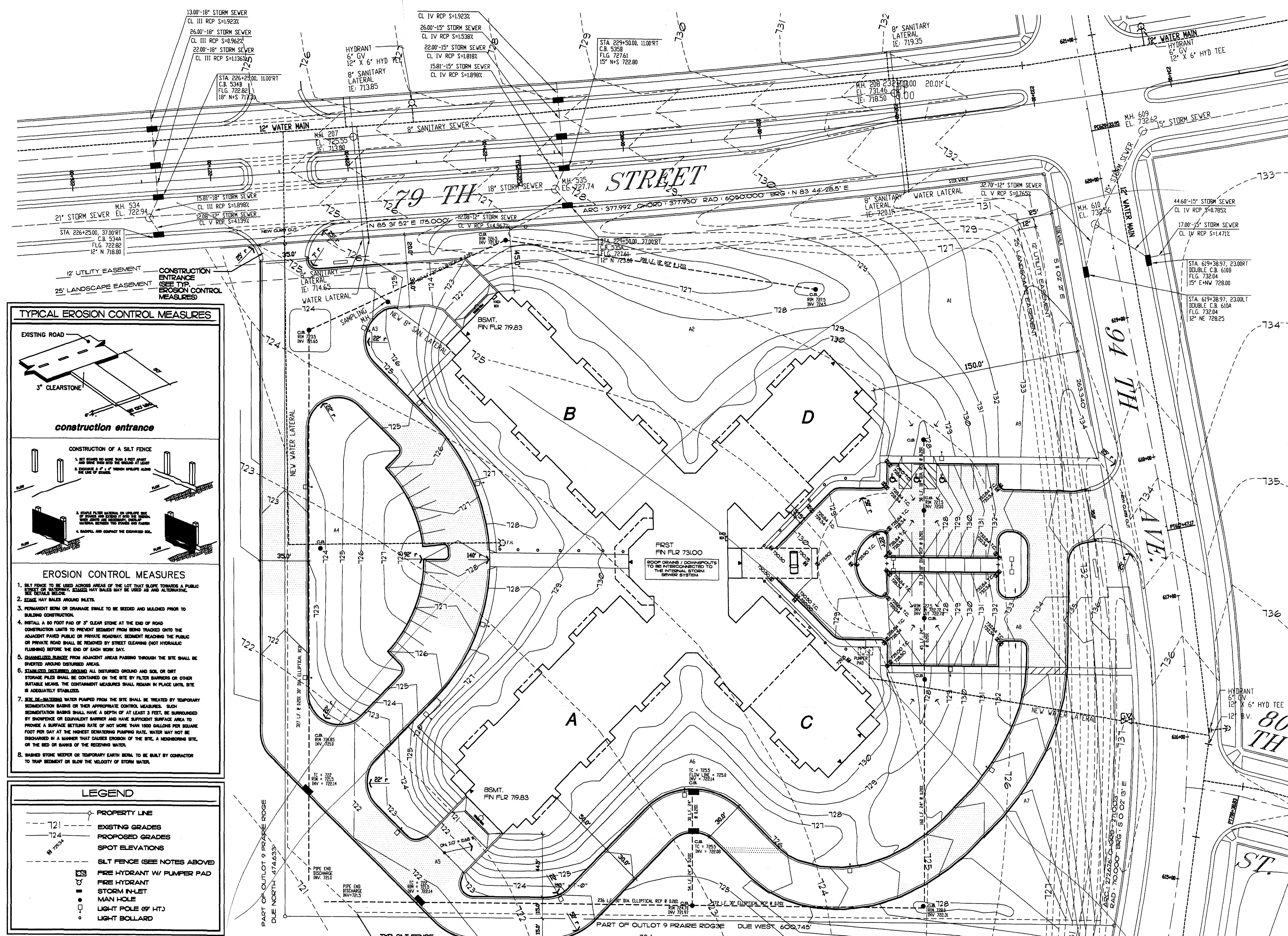
D/L-DB

SCALE

1" = 30'-0"

SHEET

A02



TYPICAL EROSION CONTROL MEASURES

construction entrance

CONSTRUCTION OF A SILT FENCE

- SET STAKES NO MORE THAN 3 FEET APART AND STAKE THEM INTO THE GROUND AT LEAST 12 INCHES.
- DESCEND A 2" X 4" THROUGH WOODS ALONG THE LINE OF STAKES.
- SPREAD FILTER MATERIAL ON UPOPER SIDE OF STAKES AND STAKE TO THE GROUND. SPREAD MATERIAL BETWEEN TWO STAKES AND FLARE IT.
- BACKFILL AND COMPACT THE EXPOSED SOIL.

EROSION CONTROL MEASURES

- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. STAKES MAY BE USED AS AN ALTERNATE. SEE DETAILS BELOW.
- STAKE MAY BALES AROUND INLETS.
- PERMANENT BERM OR DRAINAGE SWALE TO BE SEEDED AND MULCHED PRIOR TO BUILDING CONSTRUCTION.
- INSTALL A 60 FOOT PAD OF 3" CLEAR STONE AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC OR PRIVATE ROADWAY. SEDIMENT REACHING THE PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
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- SITE DE-WATERING WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SUCH SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NOT MORE THAN 1000 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DESIGNING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A HIGHWAYING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER.
- WASHED STONE WEEDER OR TEMPORARY EARTH BERM TO BE BUILT BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.

LEGEND

- PROPERTY LINE
- EXISTING GRADES
- PROPOSED GRADES
- SPOT ELEVATIONS
- SILT FENCE (SEE NOTES ABOVE)
- FIRE HYDRANT W/ PUMPER PAD
- FIRE HYDRANT
- STORM IN-LET
- MAN HOLE
- LIGHT POLE (9' HT.)
- LIGHT BOLLARD

SITE GRADING PLAN
SCALE 1" = 30.0'

see revised drawings



19275 W. CAPITOL DR.
BROOKFIELD, WI
53045

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E-MAIL vkdc@execpc.com

VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS

9/24/98	REVISIONS PER PLEASANT PRAIRIE
9/21/98	REVISIONS PER PLEASANT PRAIRIE SUBMITTAL
7/15/98	PLEASANT PRAIRIE SUBMITTAL
2/15/98	PLEASANT PRAIRIE SUBMITTAL

LOSEE & ASSOCIATES, INC.

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E-MAIL Losee@sprintmail.com

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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

SITE LANDSCAPE PLAN

DATE

7/10/98

JOB NUMBER

DRAIN BY

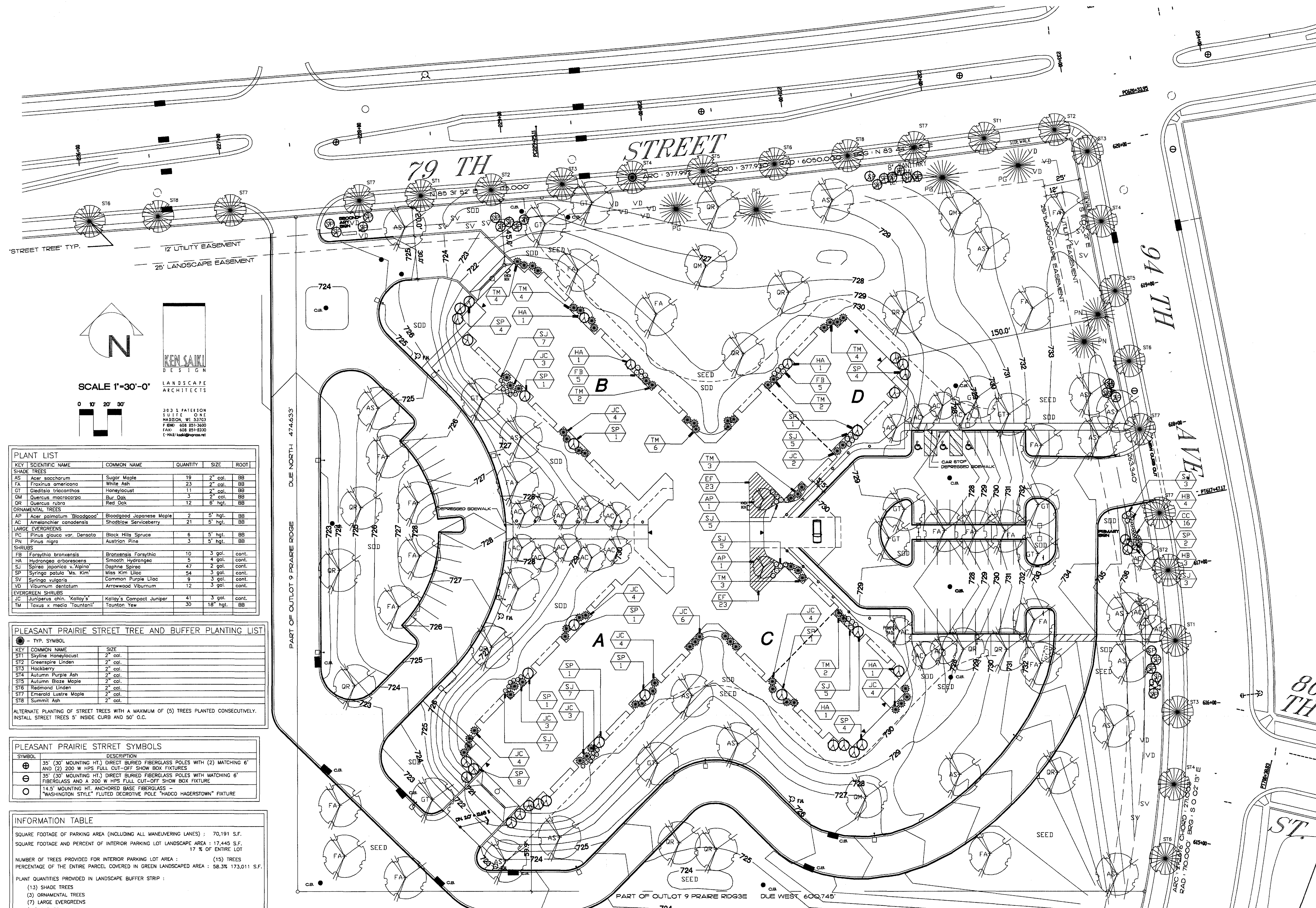
D/L-DB

SCALE

1"=30'-0"

SHEET

A0.3



KEN SAKAI
LANDSCAPE ARCHITECTS

303 S FAIRFAX
SUITE ONE
MADISON, WI 53703
PHONE: 608 251-3609
FAX: 608 251-2330
E-MAIL: ksa@kenpro.net

SCALE 1"=30'-0"

0 10' 20' 30'

PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	ROOT
SHADE TREES					
AS	Acer saccharum	Sugar Maple	19	2" cal.	BB
FA	Fraxinus americana	White Ash	23	2" cal.	BB
GT	Gleditsia triflorantha	Honeylocust	11	2" cal.	BB
QM	Quercus macrocarpa	Bur Oak	3	2" cal.	BB
QR	Quercus rubra	Red Oak	12	6" hgt.	BB
ORNAMENTAL TREES					
AP	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	2	5" hgt.	BB
AC	Amelanchier canadensis	Shadblow Serviceberry	21	5" hgt.	BB
LARGE EVERGREENS					
PC	Pinus glauca var. densata	Black Hills Spruce	6	5" hgt.	BB
PN	Pinus nigra	Austrian Pine	3	5" hgt.	BB
SHRUBS					
FB	Forsythia bronvensis	Bronzeleaf Forsythia	10	3 gal.	cont.
HA	Hydrangea arborescens	Smooth Hydrangea	5	4 gal.	cont.
SJ	Spiraea japonica v. Alpina	Daphne Spiraea	47	2 gal.	cont.
SP	Syringa patula 'Ms. Kim'	Miss Kim Lilac	54	3 gal.	cont.
SV	Syringa vulgaris	Common Purple Lilac	9	3 gal.	cont.
VD	Viburnum dentatum	Arrowwood Viburnum	12	3 gal.	cont.
EVERGREEN SHRUBS					
JC	Juniperus chin. 'Kallay's'	Kallay's Compact Juniper	41	3 gal.	cont.
TM	Taxus x media 'tauntonii'	Taunton Yew	30	18" hgt.	BB

PLEASANT PRAIRIE STREET TREE AND BUFFER PLANTING LIST

● TYP. SYMBOL

KEY	COMMON NAME	SIZE
ST1	Skyline Honeylocust	2" cal.
ST2	Greenspire Linden	2" cal.
ST3	Hackberry	2" cal.
ST4	Autumn Purple Ash	2" cal.
ST5	Autumn Blaze Maple	2" cal.
ST6	Redmond Linden	2" cal.
ST7	Emerald Lustre Maple	2" cal.
ST8	Summit Ash	2" cal.

ALTERNATE PLANTING OF STREET TREES WITH A MAXIMUM OF (5) TREES PLANTED CONSECUTIVELY.
INSTALL STREET TREES 5' INSIDE CURB AND 50' O.C.

PLEASANT PRAIRIE STREET SYMBOLS

SYMBOL	DESCRIPTION
⊕	35' (30' MOUNTING HT.) DIRECT BURIED FIBERGLASS POLES WITH (2) MATCHING 6' AND (2) 200 W HPS FULL CUT-OFF SHOW BOX FIXTURES
⊖	35' (30' MOUNTING HT.) DIRECT BURIED FIBERGLASS POLES WITH MATCHING 6' FIBERGLASS AND A 200 W HPS FULL CUT-OFF SHOW BOX FIXTURE
○	14.5" MOUNTING HT. ANCHORED BASE FIBERGLASS "WASHINGTON STYLE" FLUTED DECORATIVE POLE "HADDO HAGERSTOWN" FIXTURE

INFORMATION TABLE

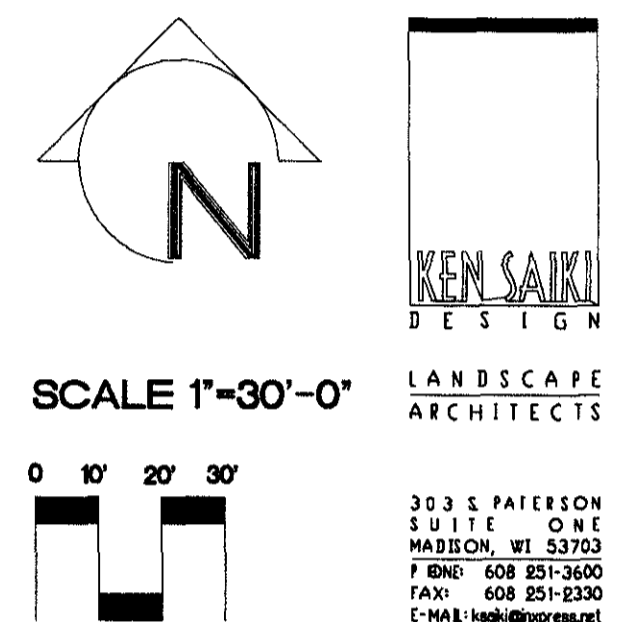
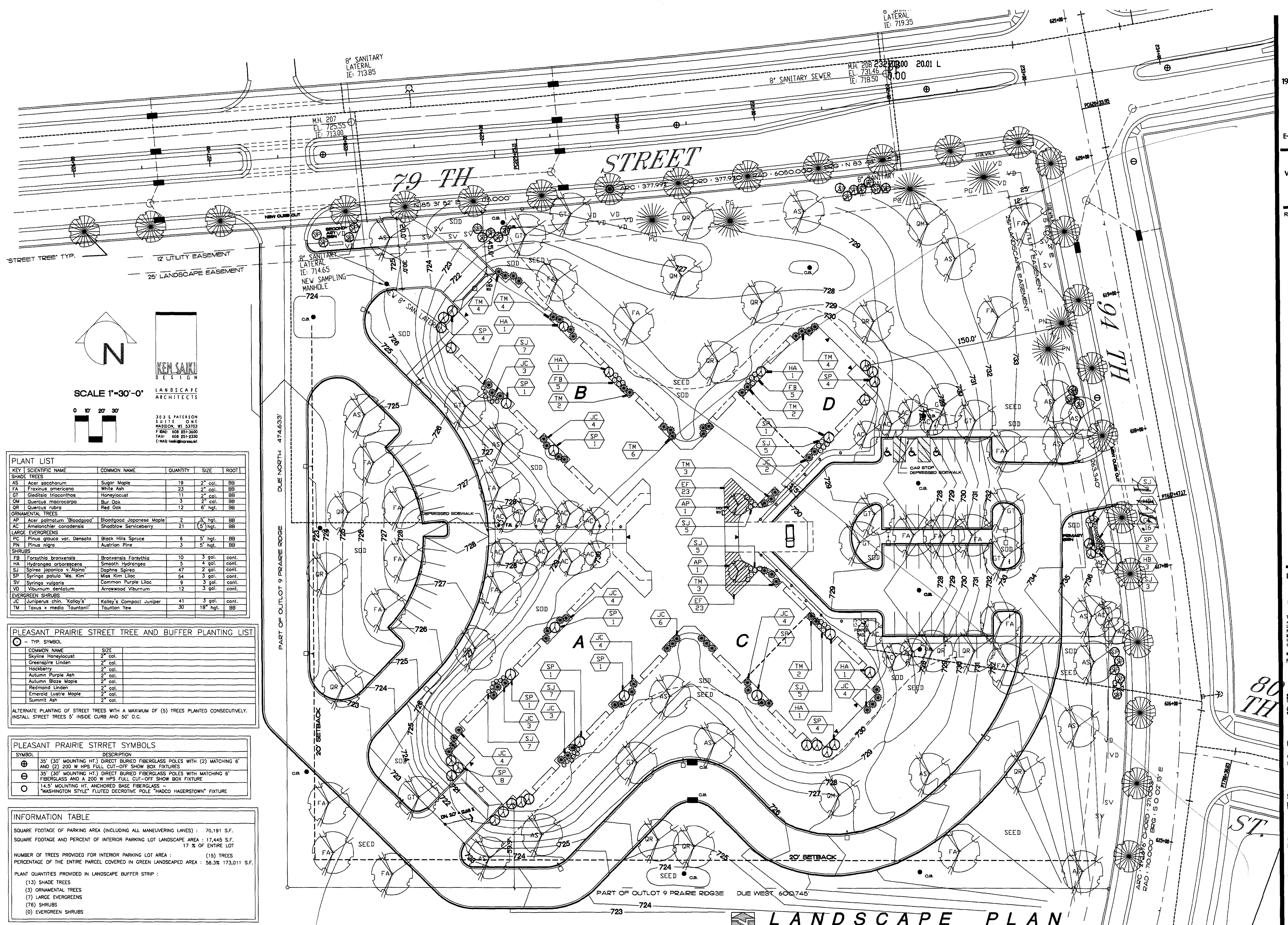
SQUARE FOOTAGE OF PARKING AREA (INCLUDING ALL MANEUVERING LANES) : 70,191 S.F.
SQUARE FOOTAGE AND PERCENT OF INTERIOR PARKING LOT LANDSCAPE AREA : 17,445 S.F. 17 % OF ENTIRE LOT

NUMBER OF TREES PROVIDED FOR INTERIOR PARKING LOT AREA : (15) TREES
PERCENTAGE OF THE ENTIRE PARCEL COVERED IN GREEN LANDSCAPED AREA : 58.3% 173,011 S.F.

PLANT QUANTITIES PROVIDED IN LANDSCAPE BUFFER STRIP :

- (13) SHADE TREES
- (3) ORNAMENTAL TREES
- (7) LARGE EVERGREENS
- (76) SHRUBS
- (0) EVERGREEN SHRUBS

LANDSCAPE PLAN
SCALE 1"= 30.0'



KEN SAIKI
DESIGN
LANDSCAPE
ARCHITECTS

303 S. PATTERSON
SUITE ONE
MILWAUKEE, WI 53204
PHONE: 608 851-3600
FAX: 608 851-8230
EMAIL: ksaiki@compuserve.com

PLANT LIST					
KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	ROOT
SHADE TREES					
AS	<i>Acer saccharum</i>	Sugar Maple	19	2" cal.	BB
FA	<i>Fraxinus americana</i>	White Ash	23	2" cal.	BB
GT	<i>Gleditsia triacanthos</i>	Honeylocust	11	2" cal.	BB
QM	<i>Quercus macrocarpa</i>	Bur Oak	3	2" cal.	BB
QR	<i>Quercus rubra</i>	Red Oak	12	6" hgt.	BB
ORNAMENTAL TREES					
AP	<i>Acer palmatum 'Bloodgood'</i>	Bloodgood Japanese Maple	2	5' hgt.	BB
AC	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	21	(5) hgt.	BB
LARGE EVERGREENS					
PC	<i>Pinus glauca var. densata</i>	Black Hills Spruce	6	5' hgt.	BB
PN	<i>Pinus nigra</i>	Austrian Pine	3	5' hgt.	BB
SHRUBS					
FB	<i>Forsythia bronvensis</i>	Bronze Forsythia	10	3 gal.	cont.
HA	<i>Hydrangea arborescens</i>	Smooth Hydrangea	5	4 gal.	cont.
SJ	<i>Spiraea japonica v. 'Alpina'</i>	Daphne Spirea	47	2 gal.	cont.
SP	<i>Syringa patula 'Ms. Kim'</i>	Miss Kim Lilac	54	3 gal.	cont.
SV	<i>Syringa vulgaris</i>	Common Purple Lilac	9	3 gal.	cont.
VD	<i>Viburnum dentatum</i>	Arrowwood Viburnum	12	3 gal.	cont.
EVERGREEN SHRUBS					
JC	<i>Juniperus chin. 'Kallay's'</i>	Kallay's Compact Juniper	41	3 gal.	cont.
TM	<i>Taxus x media 'Tauntonii'</i>	Tauntoni Yew	30	18" hgt.	BB

PLEASANT PRAIRIE STREET TREE AND BUFFER PLANTING LIST		
COMMON NAME	SIZE	
Skyline Honeylocust	2" cal.	
Greenspire Linden	2" cal.	
Hicoberry	2" cal.	
Autumn Purple Ash	2" cal.	
Autumn Blaze Maple	2" cal.	
Redmond Linden	2" cal.	
Emerald Lustre Maple	2" cal.	
Summit Ash	2" cal.	

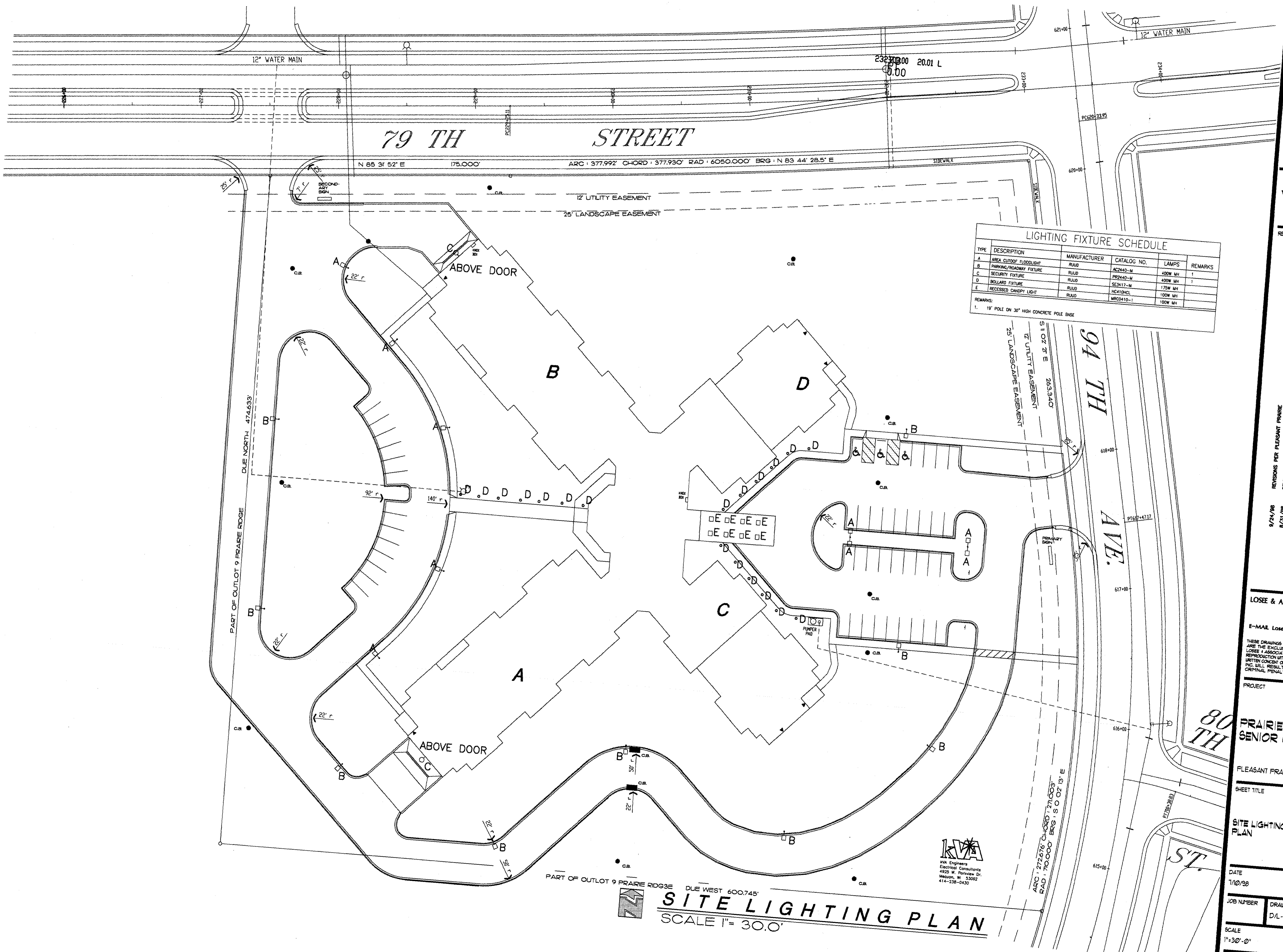
ALTERNATE PLANTING OF STREET TREES WITH A MAXIMUM OF (5) TREES PLANTED CONSECUTIVELY.
INSTALL STREET TREES 5' INSIDE CURB AND 50' O.C.

PLEASANT PRAIRIE STREET SYMBOLS	
SYMBOL	DESCRIPTION
⊕	35' (30' MOUNTING HT.) DIRECT BURIED FIBERGLASS POLES WITH (2) MATCHING 6' AND (2) 200 W HPS FULL CUT-OFF SHOW BOX FIXTURES
⊗	35' (30' MOUNTING HT.) DIRECT BURIED FIBERGLASS POLES WITH MATCHING 6' FIBERGLASS AND A 200 W HPS FULL CUT-OFF SHOW BOX FIXTURE
○	14.5' MOUNTING HT. ANCHORED BASE FIBERGLASS "WASHINGTON STYLE" FLUTED DECORATIVE POLE "HADCO HAGERSTOWN" FIXTURE

INFORMATION TABLE	
SQUARE FOOTAGE OF PARKING AREA (INCLUDING ALL MANEUVERING LANES)	: 70,191 S.F.
SQUARE FOOTAGE AND PERCENT OF INTERIOR PARKING LOT LANDSCAPE AREA	: 17,445 S.F. 17% OF ENTIRE LOT
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PLANT QUANTITIES PROVIDED IN LANDSCAPE BUFFER STRIP :	
(13) SHADE TREES	
(3) ORNAMENTAL TREES	
(7) LARGE EVERGREENS	
(76) SHRUBS	
(0) EVERGREEN SHRUBS	

LANDSCAPE PLAN
SCALE 1"= 30.0'

See revised drawings



LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NO.	LAMPS	REMARKS
A	AREA OUTDOOR FLOODLIGHT	RUID	AC2440-M	400W MH	1
B	PARKING/ROADWAY FIXTURE	RUID	PR2440-M	400W MH	1
C	SECURITY FIXTURE	RUID	SE417-M	400W MH	1
D	BOLLARD FIXTURE	RUID	HC410HCL	100W MH	
E	RECESSED CANOPY LIGHT	RUID	MRC0410-1	100W MH	

REMARKS:
1. 19' POLE ON 30" HIGH CONCRETE POLE BASE



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VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS

9/24/98
8/31/98
7/15/98

REVISIONS PER PLEASANT PRAIRIE
REVISIONS PER PLEASANT PRAIRIE SUBMITTAL
PLEASANT PRAIRIE SUBMITTAL

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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

SITE LIGHTING PLAN

DATE
7/10/98

JOB NUMBER
DRAWN BY
D/L-DB

SCALE
1"=30'-0"

SHEET



KVA Engineers
Electrical Consultants
4923 W. Parkview Dr.
Mequon, WI 53092
414-238-0430

PART OF OUTLOT 9 PRAIRIE RIDGE3E DUE WEST 600.745'
SITE LIGHTING PLAN
SCALE 1"=30.0'



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7/15/98	PLEASANT PRAIRIE SUBMITTAL
2/2/98	PLEASANT PRAIRIE SUBMITTAL

Final Plat
PLAN

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PROJECT
PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

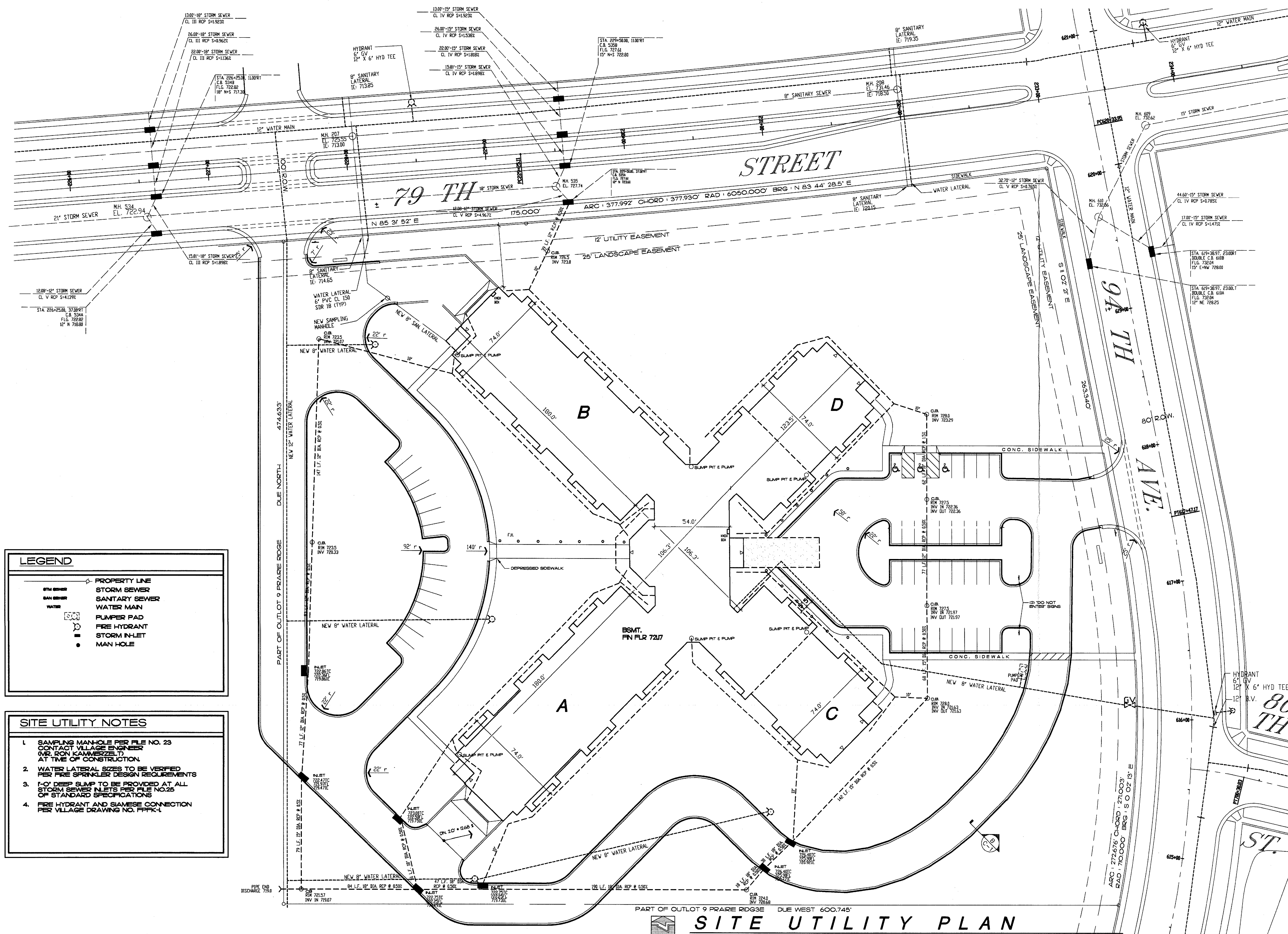
SHEET TITLE
SITE UTILITY PLAN

DATE
7/10/98

JOB NUMBER
DRAIN BY
D/L-DB

SCALE
1" = 30'-0"

SHEET
A05



	PROPERTY LINE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	PUMPER PAD
	FIRE HYDRANT
	STORM IN-LET
	MAN HOLE

- | | |
|----|--|
| 1. | SAMPLING MANHOLE PER FILE NO. 23 CONTACT VILLAGE ENGINEER (MR. IRON KAWANISZEL) AT TIME OF CONSTRUCTION. |
| 2. | WATER LATERAL SIZES TO BE VERIFIED PER FIRE SPRINKLER DESIGN REQUIREMENTS |
| 3. | 1'-0" DEEP SLUMP TO BE PROVIDED AT ALL STORM SEWER INLETS PER FILE NO.25 OF STANDARD SPECIFICATIONS |
| 4. | FIRE HYDRANT AND SIAMENSE CONNECTION PER VILLAGE DRAWING NO. PFK-1 |

SITE UTILITY PLAN
SCALE 1" = 30.0'





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REVISIONS

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7/15/98	PLEASANT PRAIRIE SUBMITTAL

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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

SITE UTILITY PLAN

DATE
7/10/98

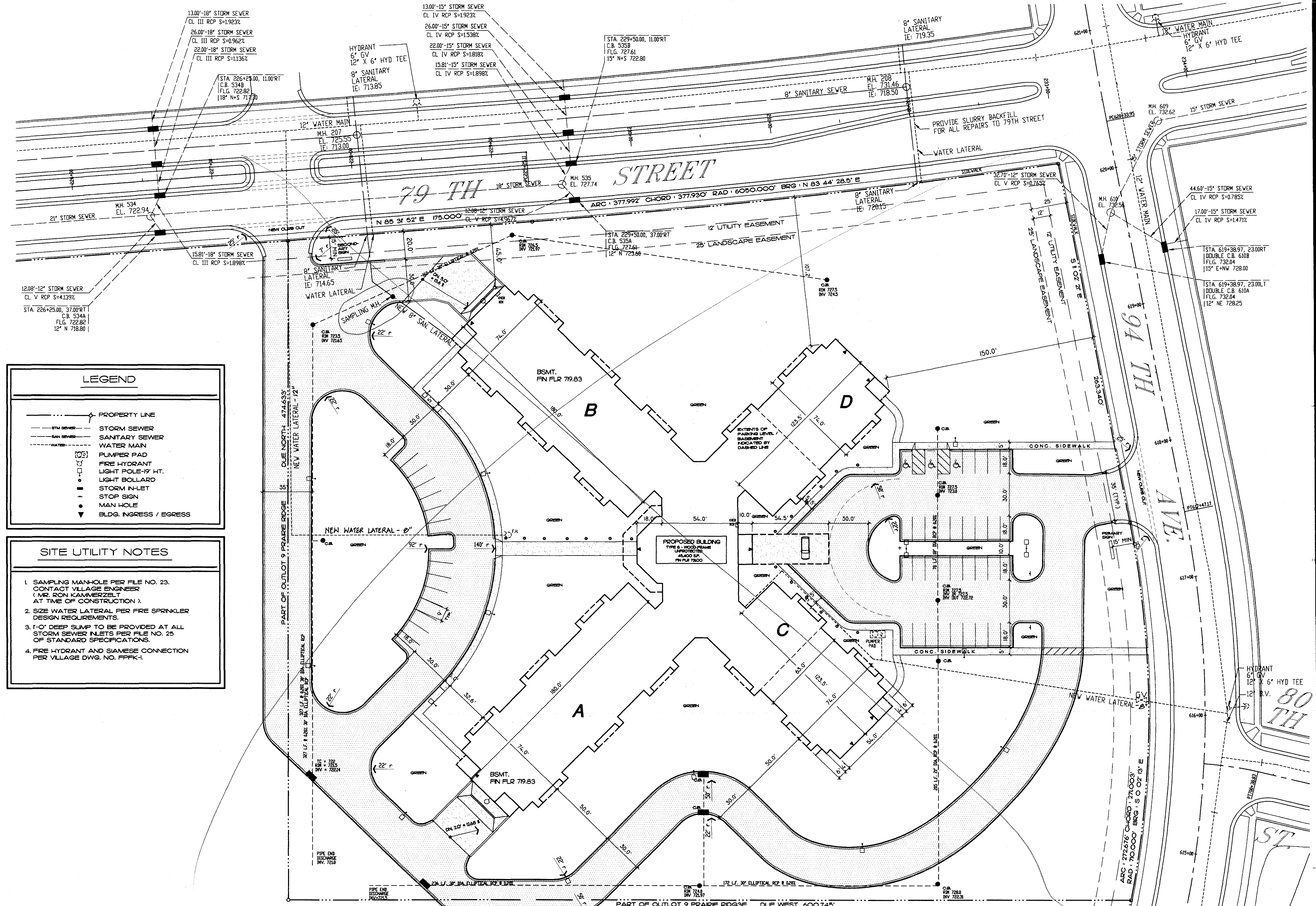
JOB NUMBER
DRAIN BY
D/L-DB

SCALE
1" = 30'-0"

SHEET

A0.5

see revised drawings.



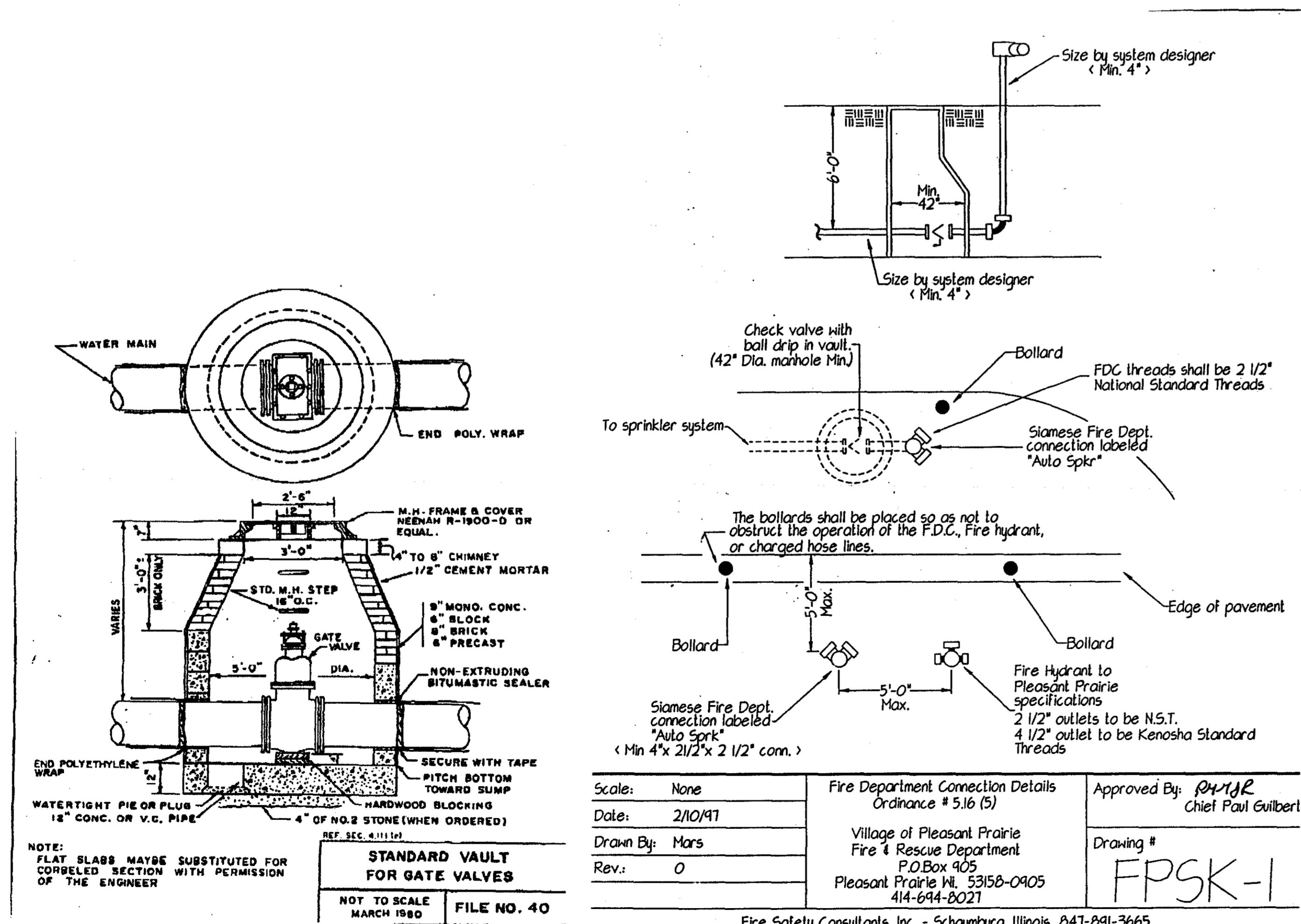
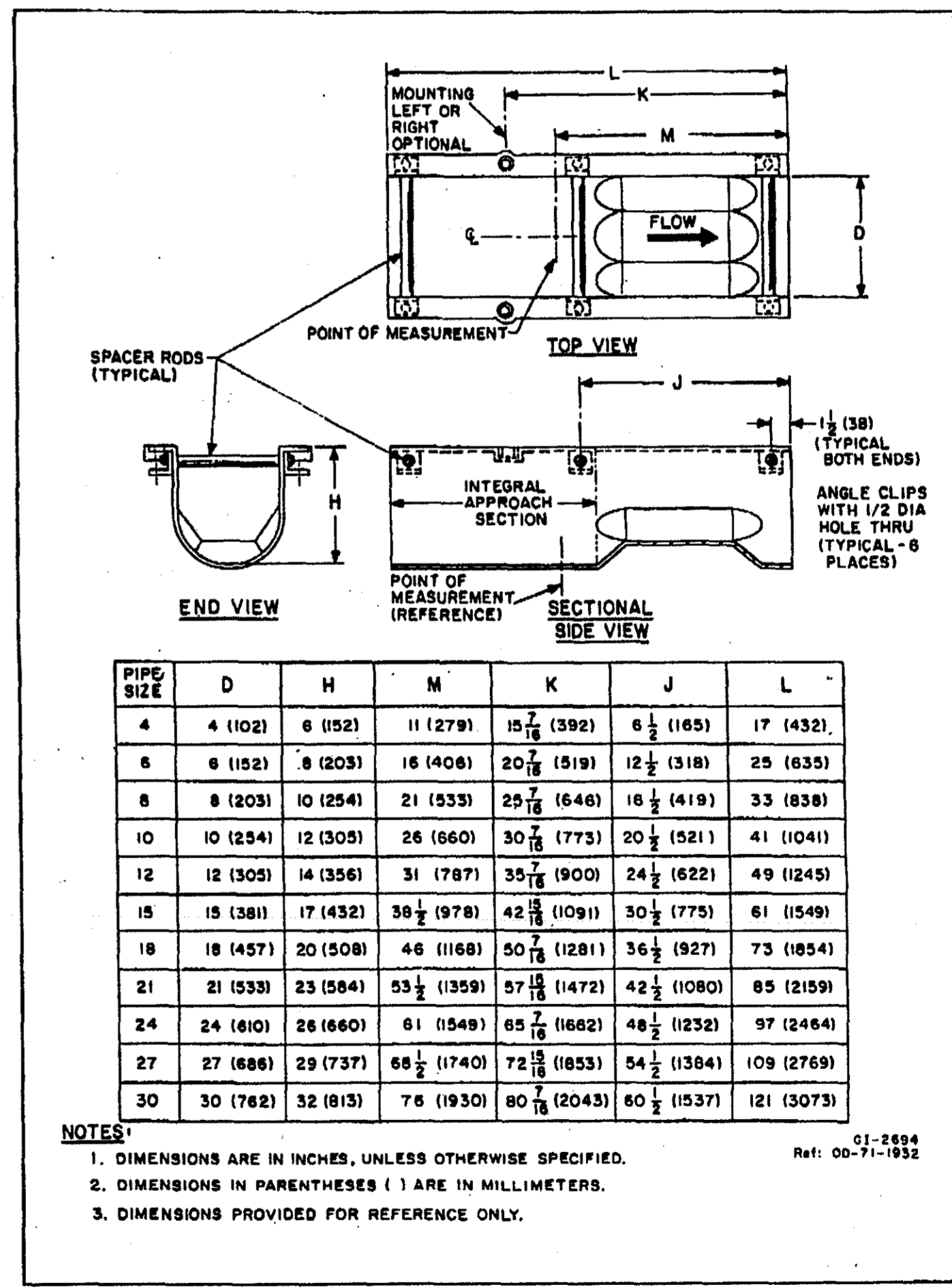
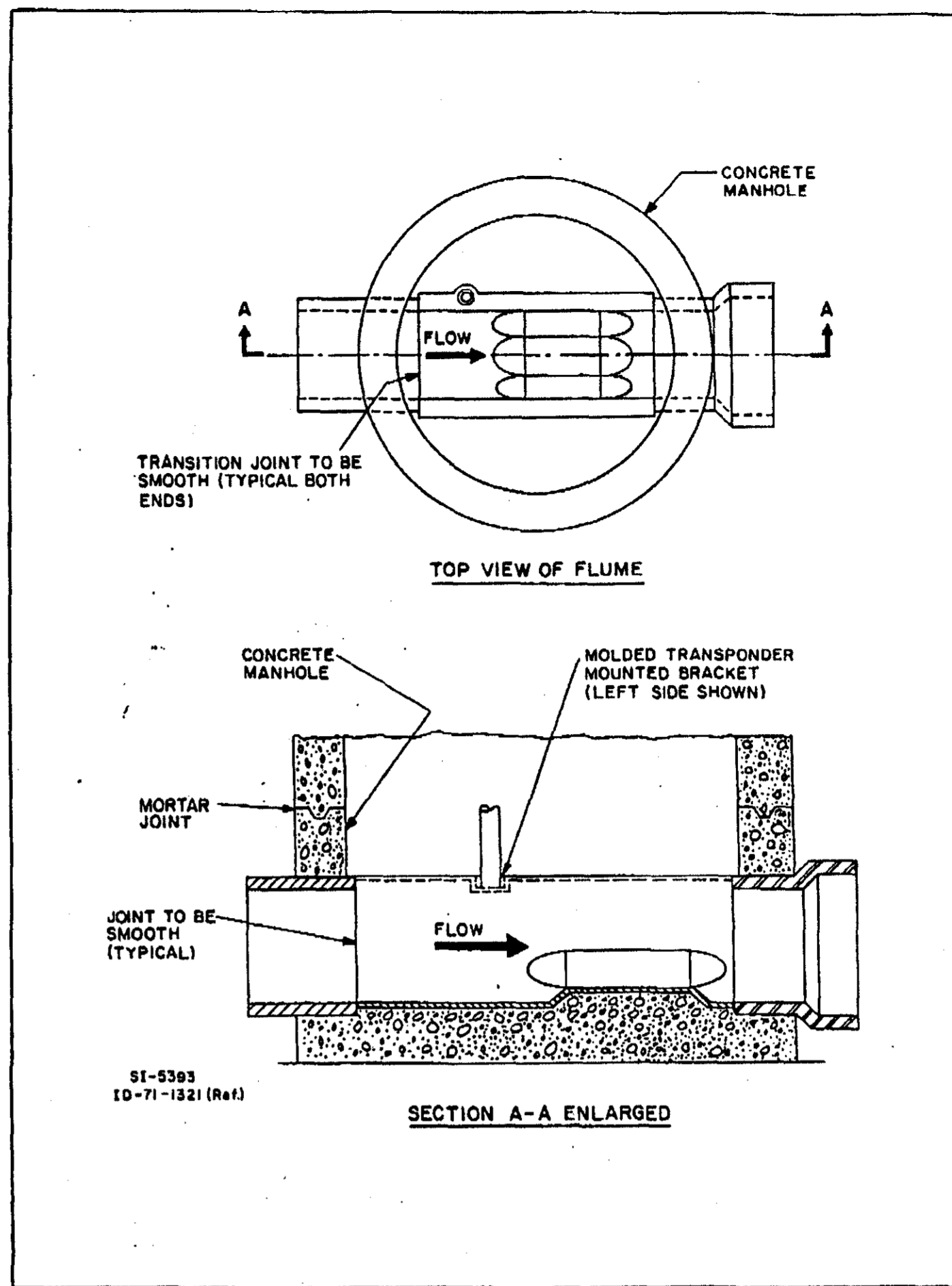
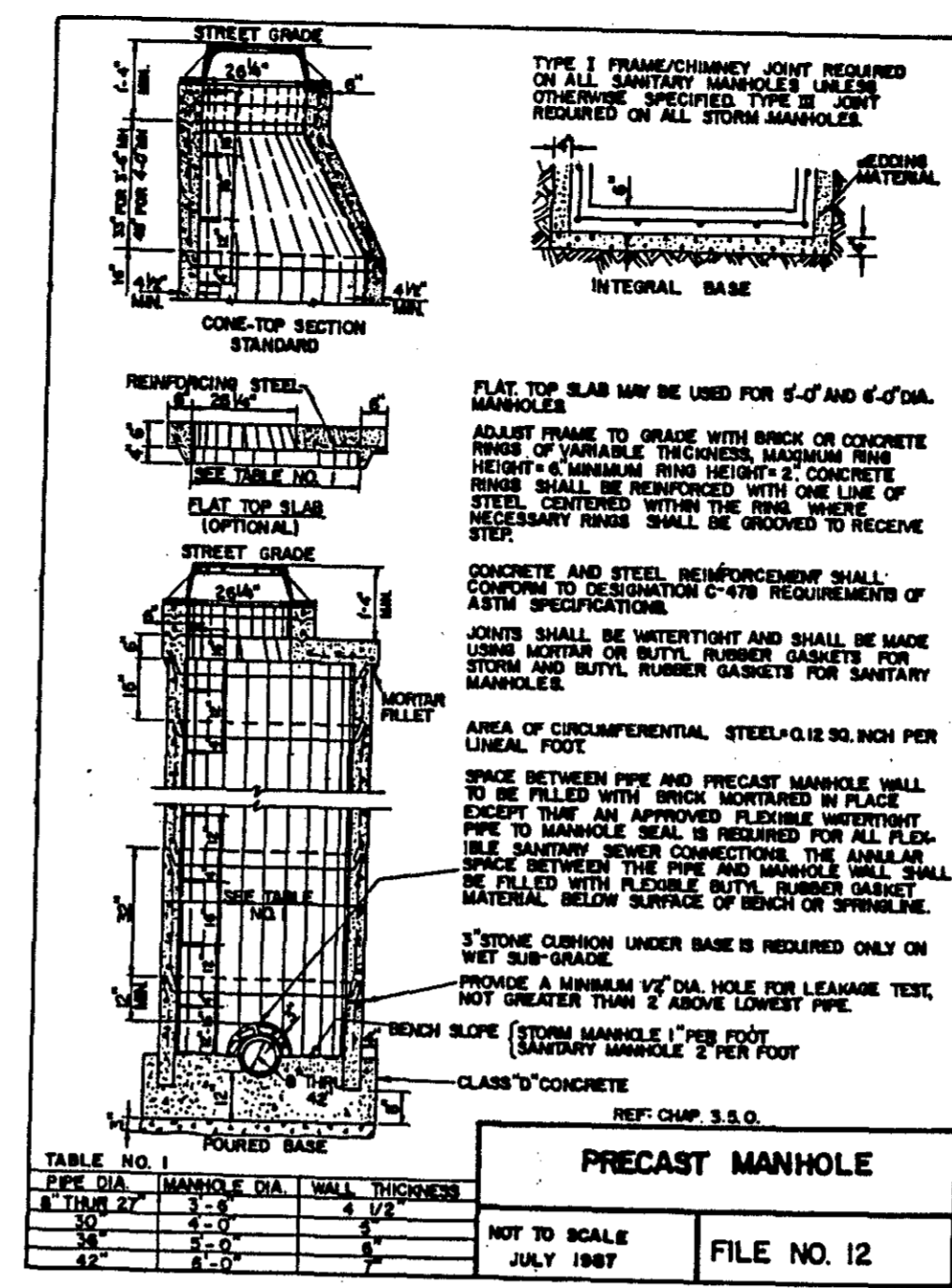
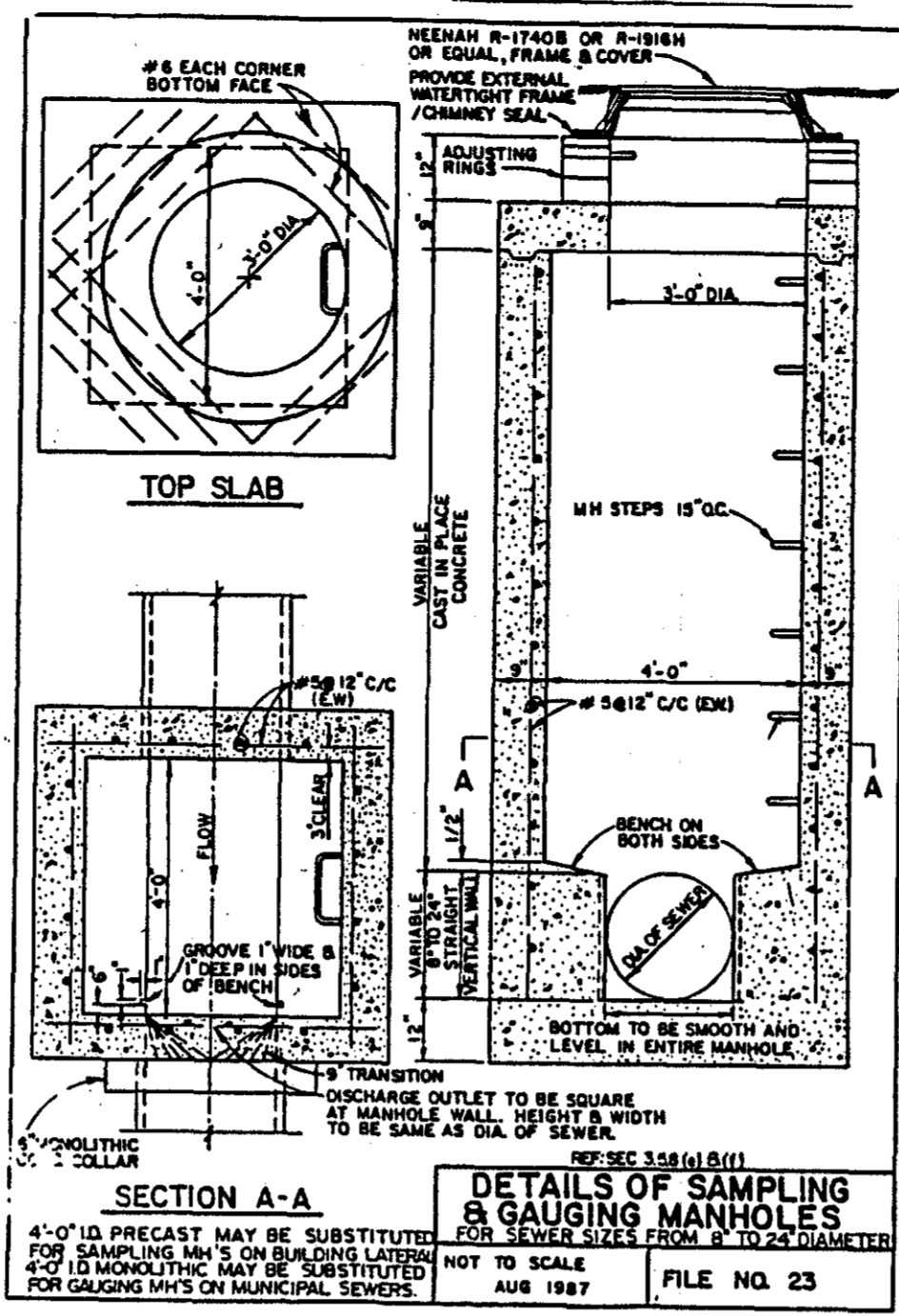
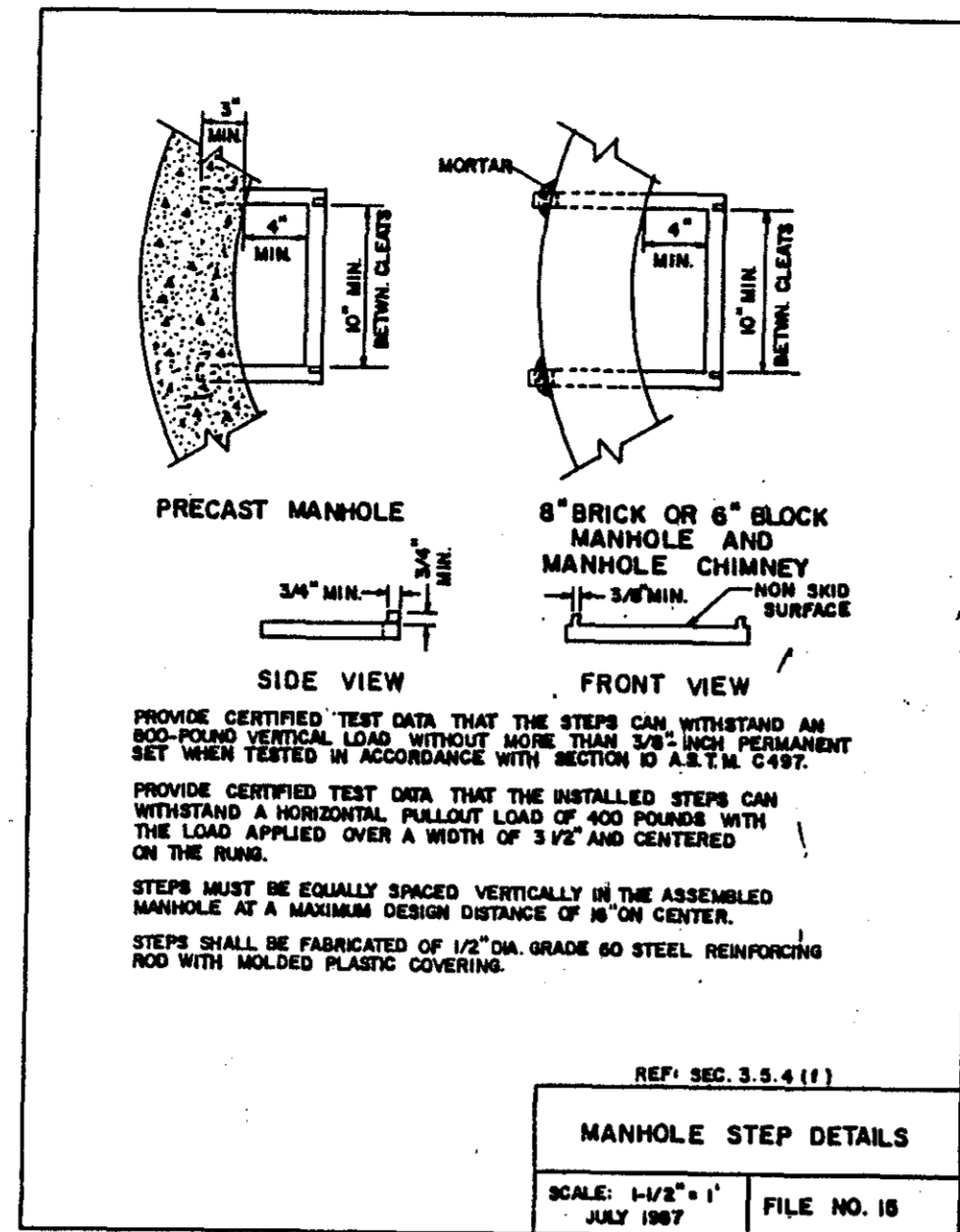
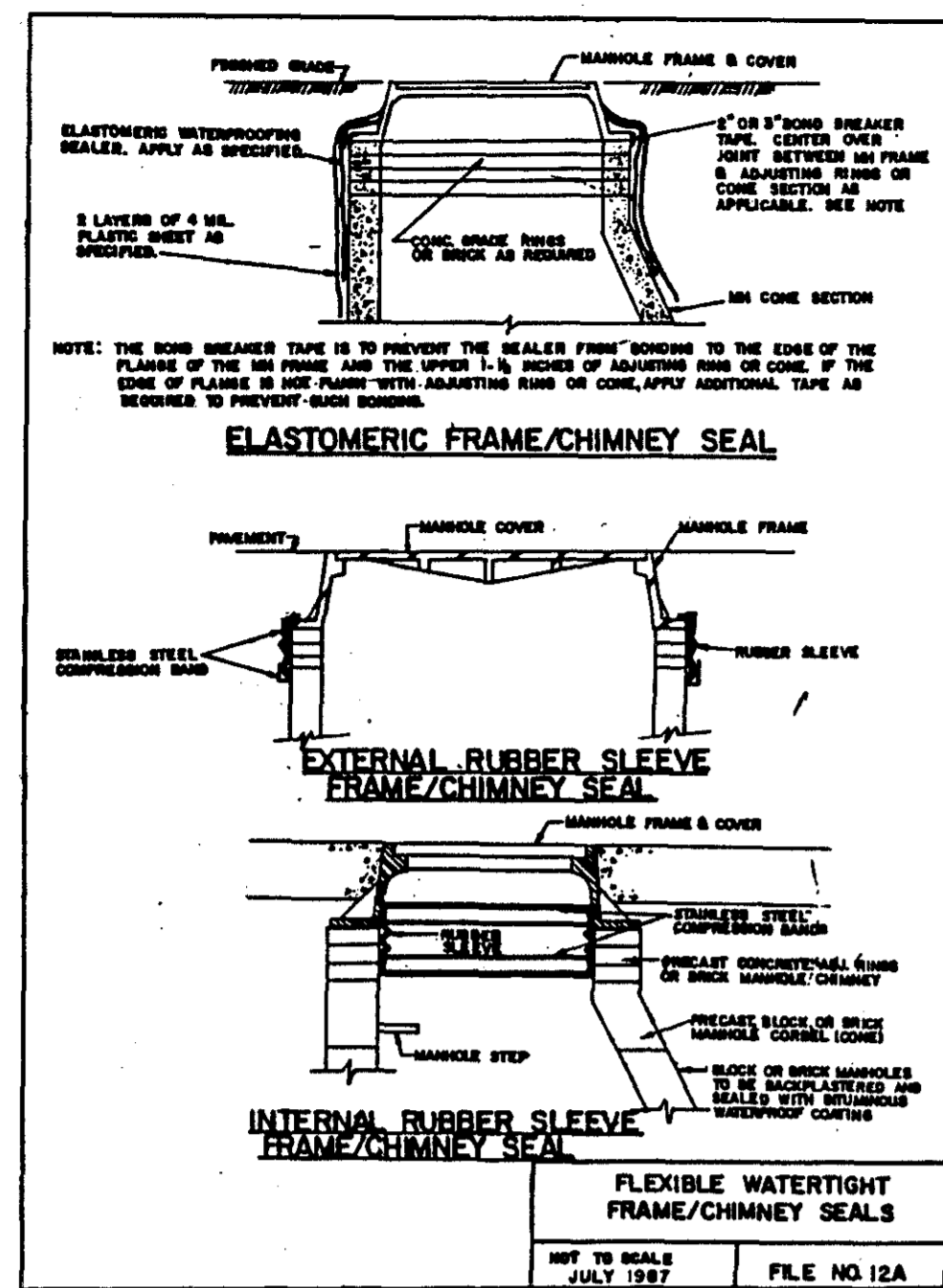
LEGEND

- PROPERTY LINE
- STORM SEWER
- SAN SEWER
- WATER MAIN
- PUMPER PAD
- FIRE HYDRANT
- LIGHT POLE-19' HT.
- LIGHT BOLLARD
- STORM IN-LET
- STOP SIGN
- MAN HOLE
- BLDG. INGRESS / EGRESS

SITE UTILITY NOTES

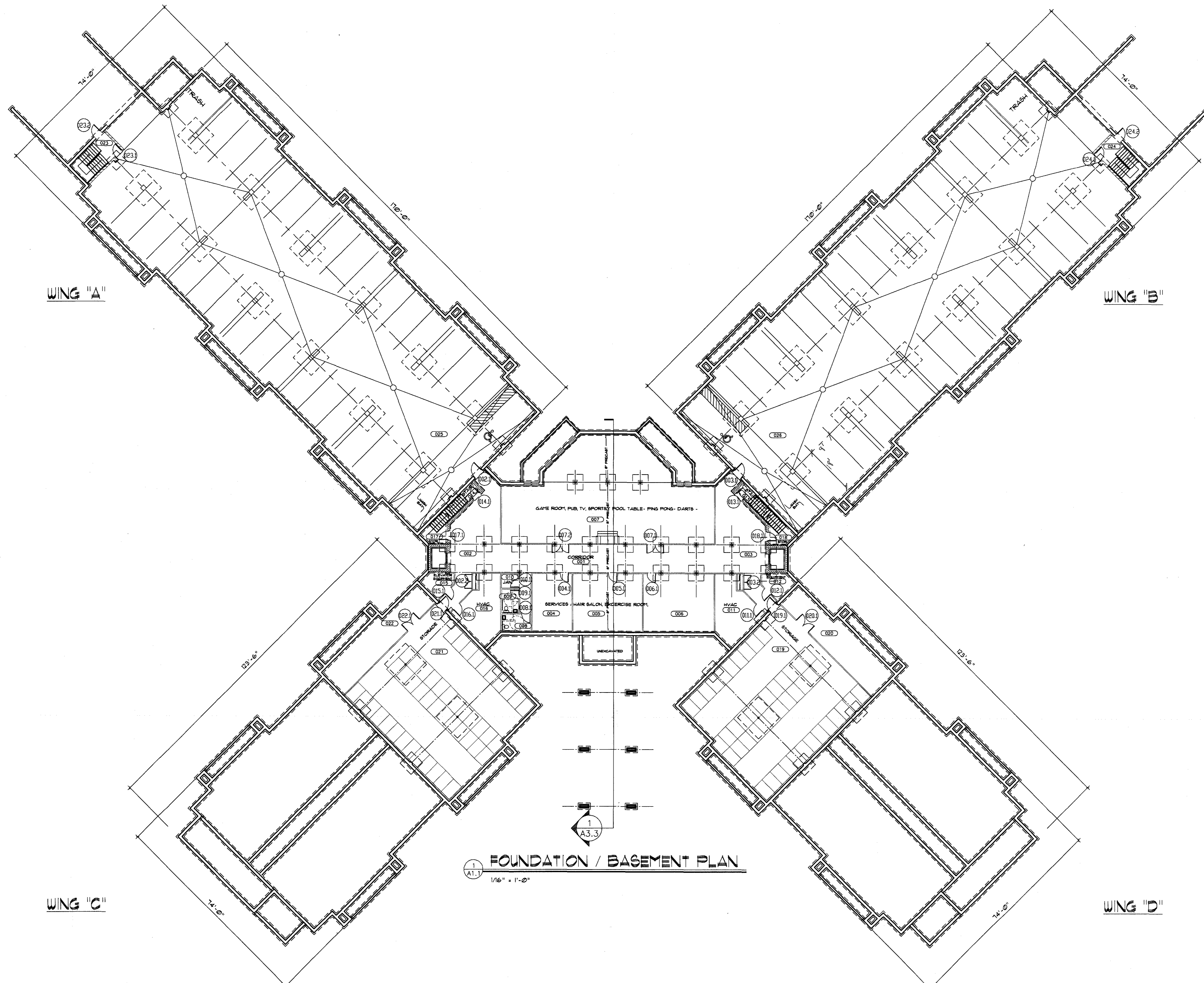
- SAMPLING MANHOLE PER FILE NO. 23. CONTACT VILLAGE ENGINEER (MR. RON KAMMERZELT AT TIME OF CONSTRUCTION).
- SIZE WATER LATERAL PER FIRE SPRINKLER DESIGN REQUIREMENTS.
- 1'-0" DEEP SLUMP TO BE PROVIDED AT ALL STORM SEWER INLETS PER FILE NO. 25 OF STANDARD SPECIFICATIONS.
- FIRE HYDRANT AND SIAMESE CONNECTION PER VILLAGE DWG. NO. FPFK-1.

SITE UTILITY PLAN
SCALE 1" = 30.0'



- VILLAGE OF PLEASANT PRAIRIE
SANITARY LATERAL SAMPLING MANHOLE REQUIREMENTS
- Precast Or Concrete Block Manhole 48" Minimum Inside Diameter with Eccentric Cone. Frame and Cover Shall Be Neenah R-1580 with Type "B" Non Rocking Cover. (See Attached Files)
 - Primary Flow Measuring Device Shall Be A Palmer-Bowlus Flume with Integral Approach Section. Flume Size Shall Be Based Upon Lateral Pipe Size & Shall Be Installed Per Manufactures Specifications And Tolerances.
Flumes Shall Be Manufactured By:
A. Plasti-Fab (Technical Equipment Sales, Milw. - 414-963-1633)
B. Ken Co Plastics (Allen Engineering - 414-353-5070)
 - Sampling Manhole Shall Be Located To Allow Easy Access For Utility Crews.
 - No Horizontal Alignment Changes Shall Be Allowed At The Sampling Manhole.
 - 110V Electrical

SITE DETAILS
SCALE AS NOTED



FOUNDATION / BASEMENT PLAN
 1/16" = 1'-0"

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 10/26/98 - REVISED
 12/14/98 - REVISED

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PROJECT
PRAIRIE RIDGE SENIOR CAMPUS

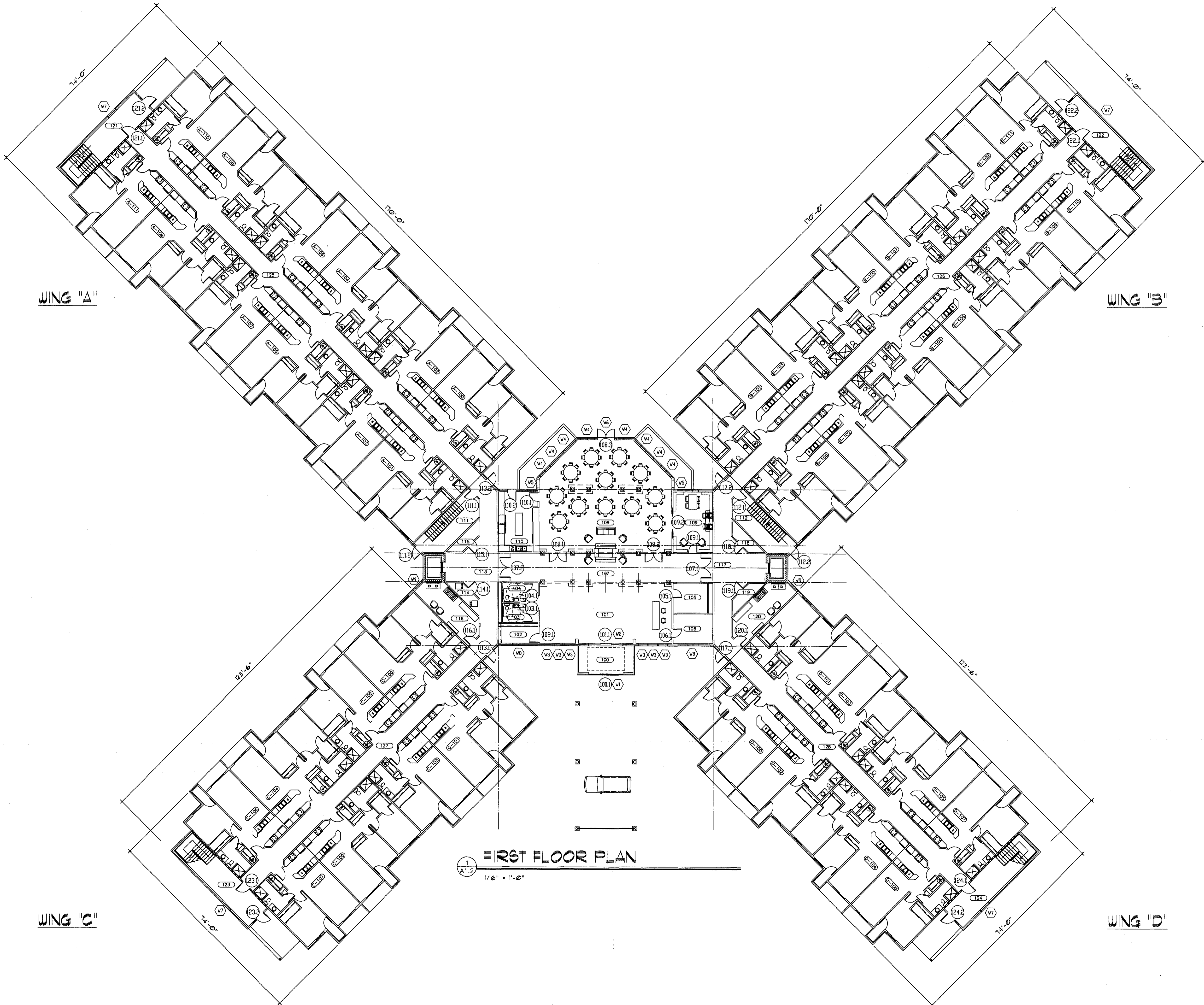
PLEASANT PRAIRIE, WI

SHEET TITLE
CAMPUS BASEMENT PLAN

DATE
 1/10/98
 JOB NUMBER | DRAIN BY
 | RSL/BJK

SCALE
 1/16" = 1'-0"

SHEET
A1.1



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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS FIRST
FLOOR PLAN

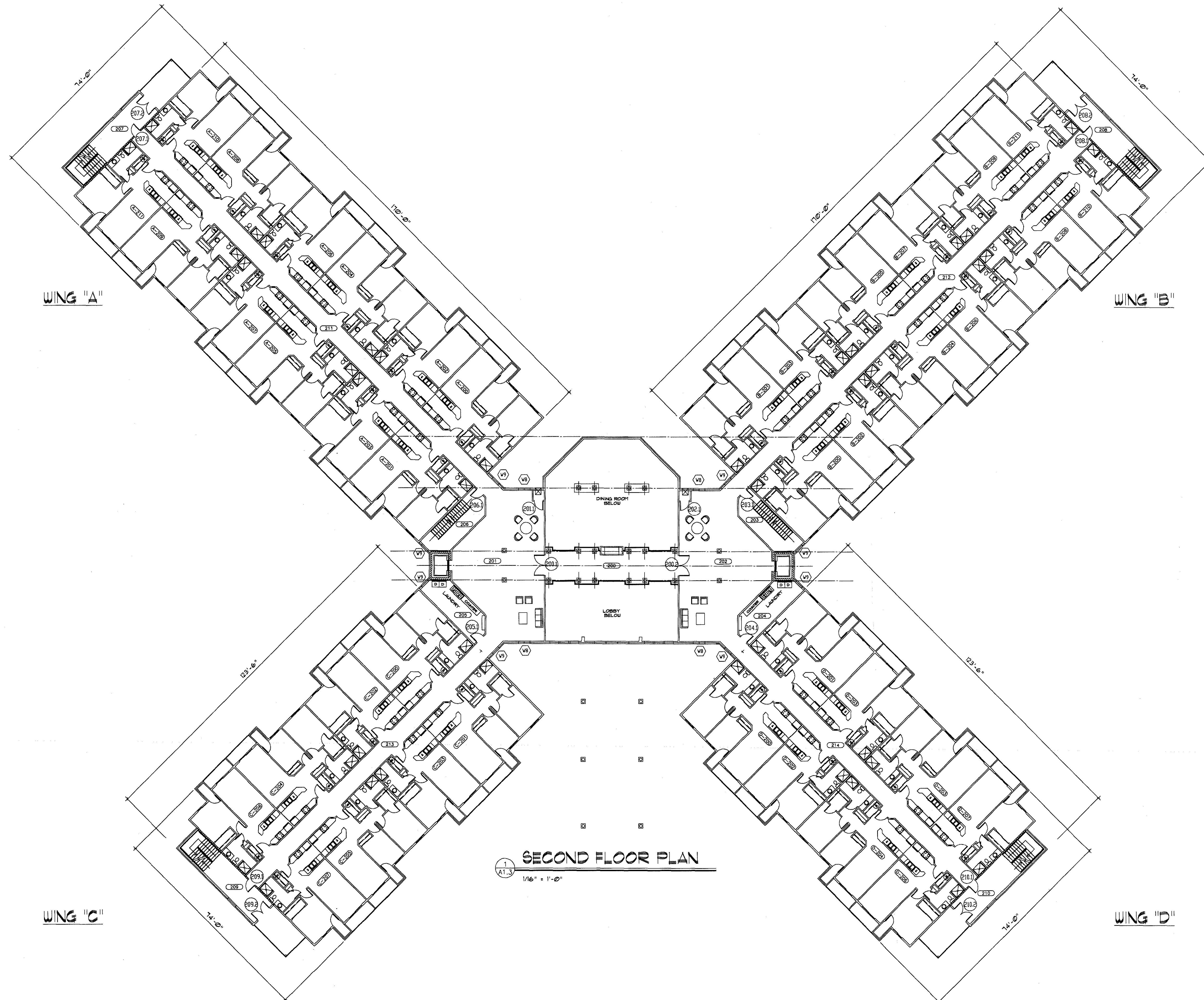
DATE
1/10/38

JOB NUMBER	DRAWN BY
	RSL/BJK

SCALE
1/16" = 1'-0"

SHEET

A12



1
A1.3
SECOND FLOOR PLAN
1/16" = 1'-0"



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11/14/95 - REVISED

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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS SECOND
FLOOR PLAN

DATE
7/10/98

JOB NUMBER DRAIN BY
RSL/EJK

SCALE
1/16" = 1'-0"

SHEET
A1.3

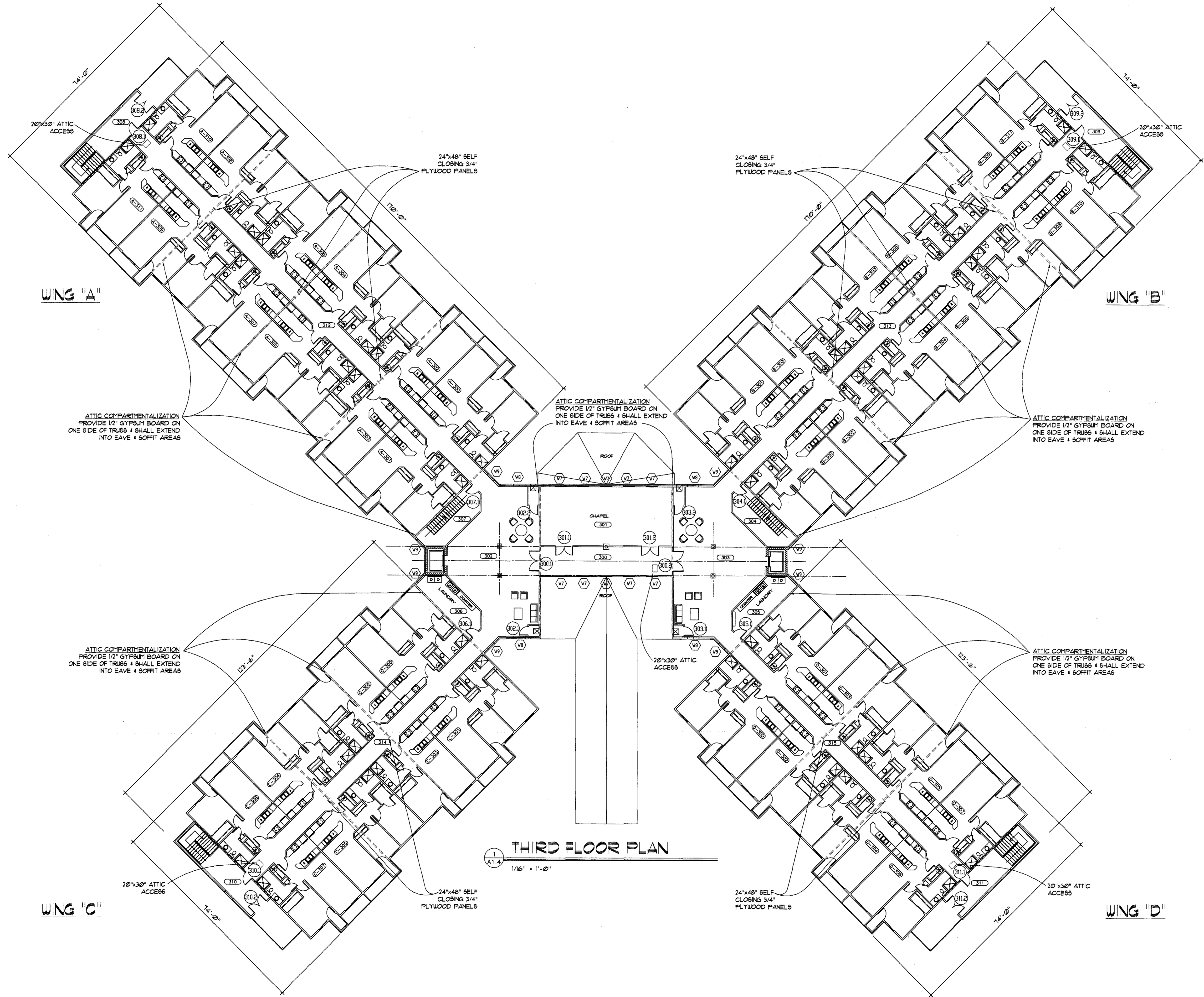


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VK REALTY, INC.

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07/14/98 - REVISED
07/30/98 - REVISED ATTIC



1
A1.4
1/16" = 1'-0"

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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS THIRD
FLOOR PLAN

DATE
7/10/98

JOB NUMBER
DRAIN BY
RSL/BJK

SCALE
1/16" = 1'-0"

SHEET





19275 W. CAPITOL DR.
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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

COMMONS BASEMENT
/ FOUNDATION PLAN

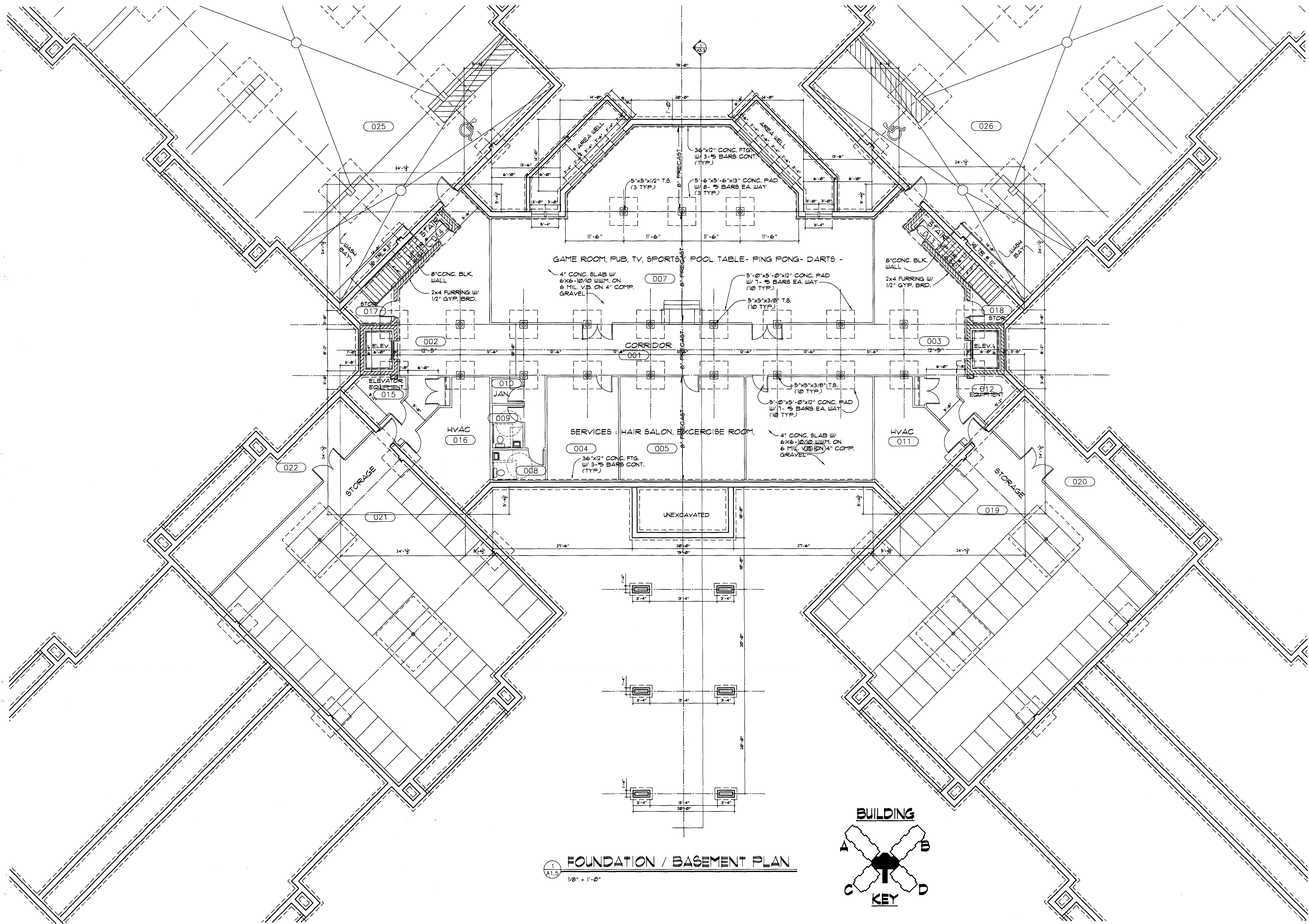
DATE
1/10/98

JOB NUMBER DRAIN BY
RSL/BJK

SCALE
1/8" = 1'-0"

SHEET

A15





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53045

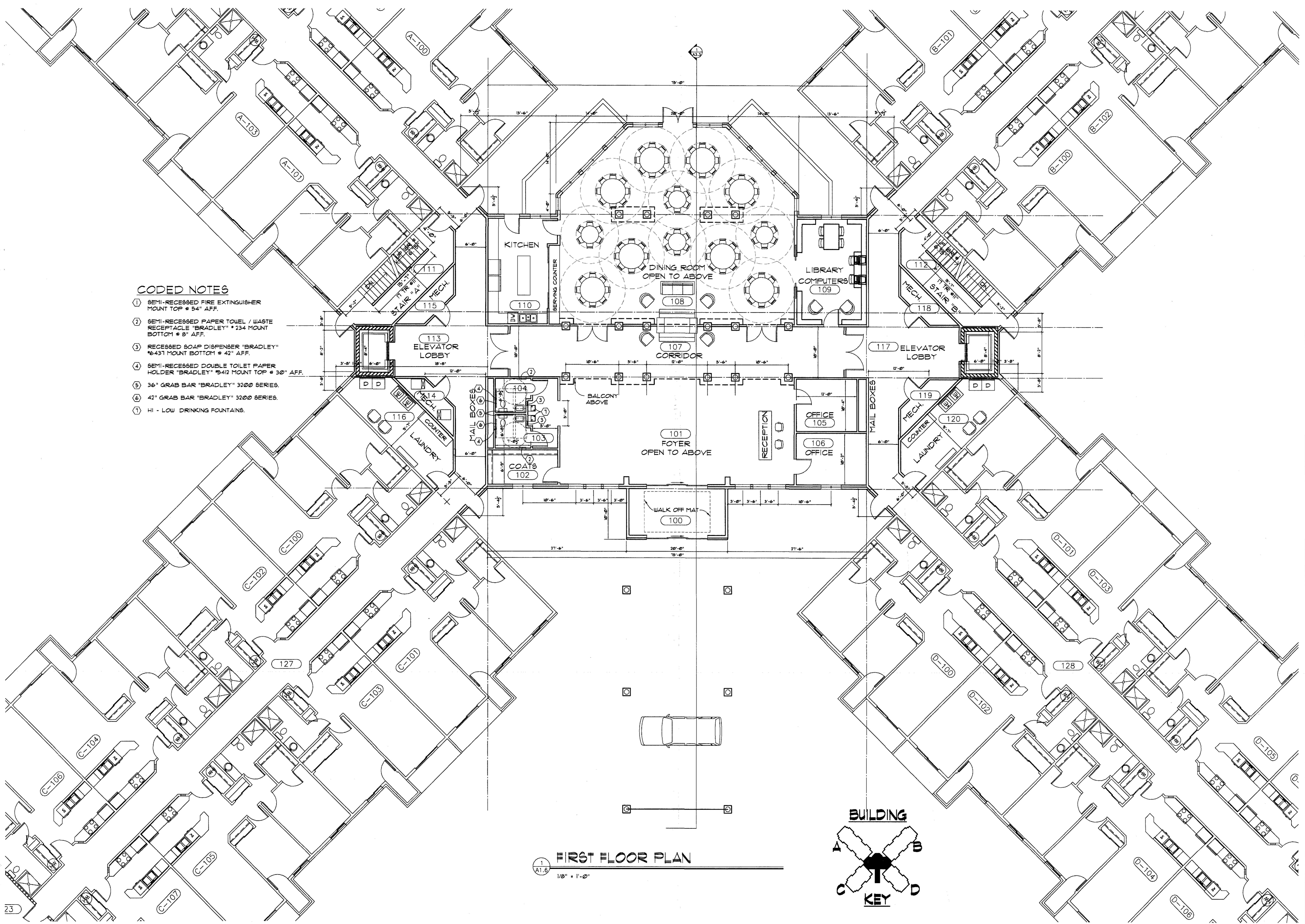
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VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

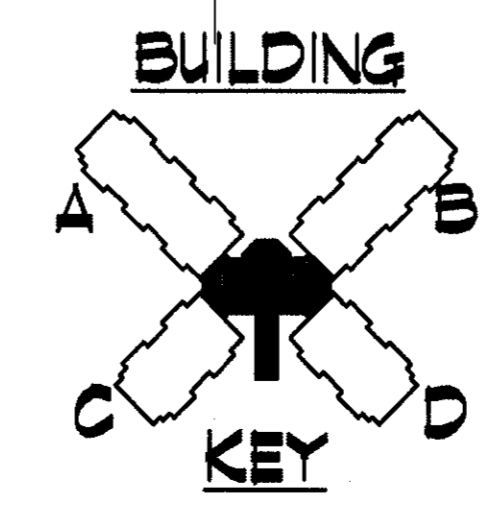
REVISIONS
10/26/98 - REVISED
12/14/98 - REVISED

CODED NOTES

- ① SEMI-RECESSED FIRE EXTINGUISHER MOUNT TOP # 54" AFF.
- ② SEMI-RECESSED PAPER TOWEL / WASTE RECEPTACLE "BRADLEY" # 234 MOUNT BOTTOM # 8" AFF.
- ③ RECESSED SOAP DISPENSER "BRADLEY" #6431 MOUNT BOTTOM # 42" AFF.
- ④ SEMI-RECESSED DOUBLE TOILET PAPER HOLDER "BRADLEY" #5412 MOUNT TOP # 30" AFF.
- ⑤ 36" GRAB BAR "BRADLEY" 3200 SERIES.
- ⑥ 42" GRAB BAR "BRADLEY" 3200 SERIES.
- ⑦ HI - LOW DRINKING FOUNTAINS.



FIRST FLOOR PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

COMMONS FIRST FLOOR PLAN

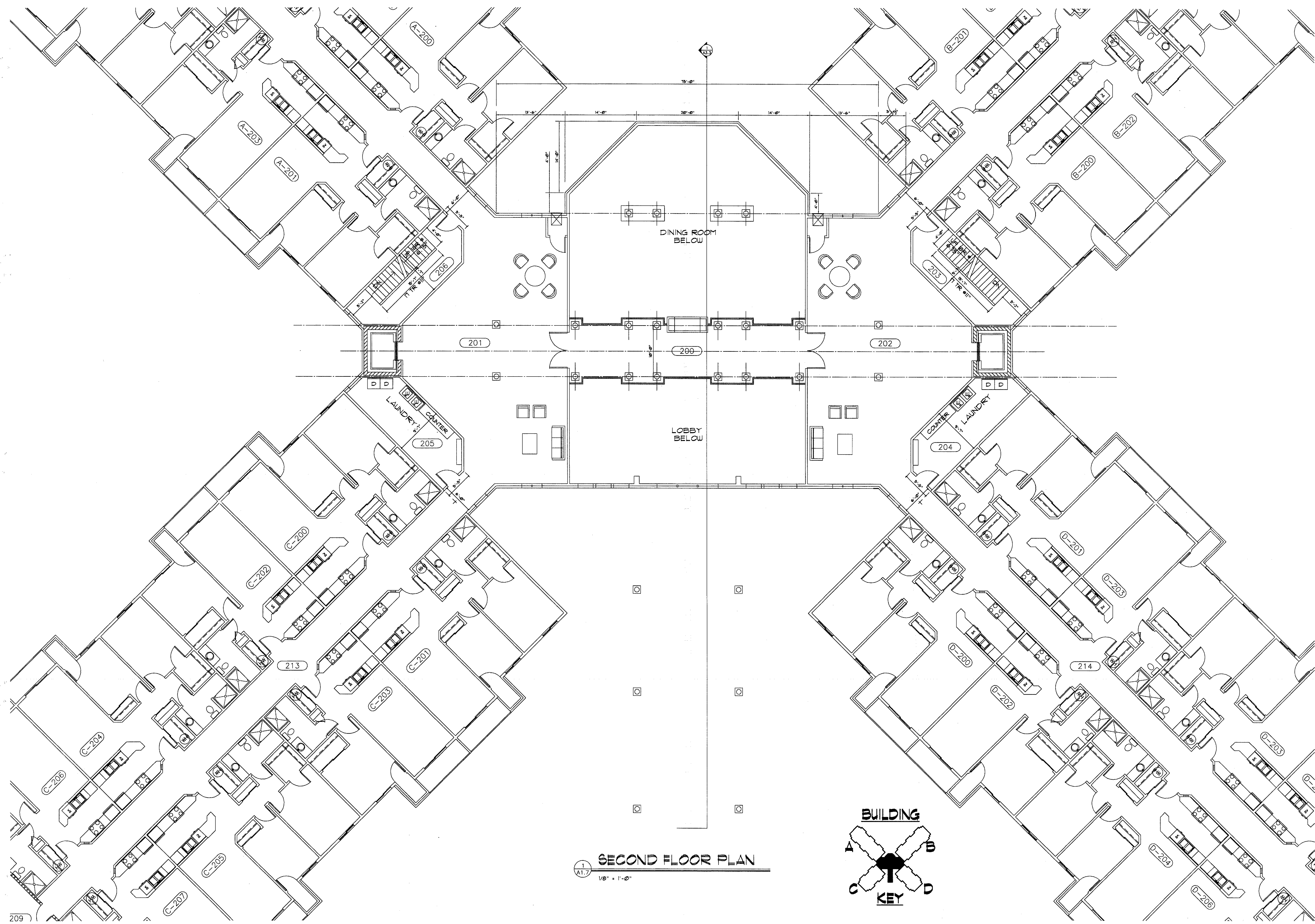
DATE
1/10/98

JOB NUMBER
DRAIN BY
RSL/EJK

SCALE
1/8" = 1'-0"

SHEET





VK
 19275 W. CAPITOL DR.
 BROOKFIELD, WI
 53045
 OFFICE 414-790-6000
 FAX 414-790-6010
 E-MAIL vkdc@execpc.com
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PROJECT
PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE
COMMONS SECOND FLOOR PLAN

DATE
 7/10/98

JOB NUMBER
 DRAWN BY
 RSL/BJK

SCALE
 1/8" = 1'-0"

SHEET
 1

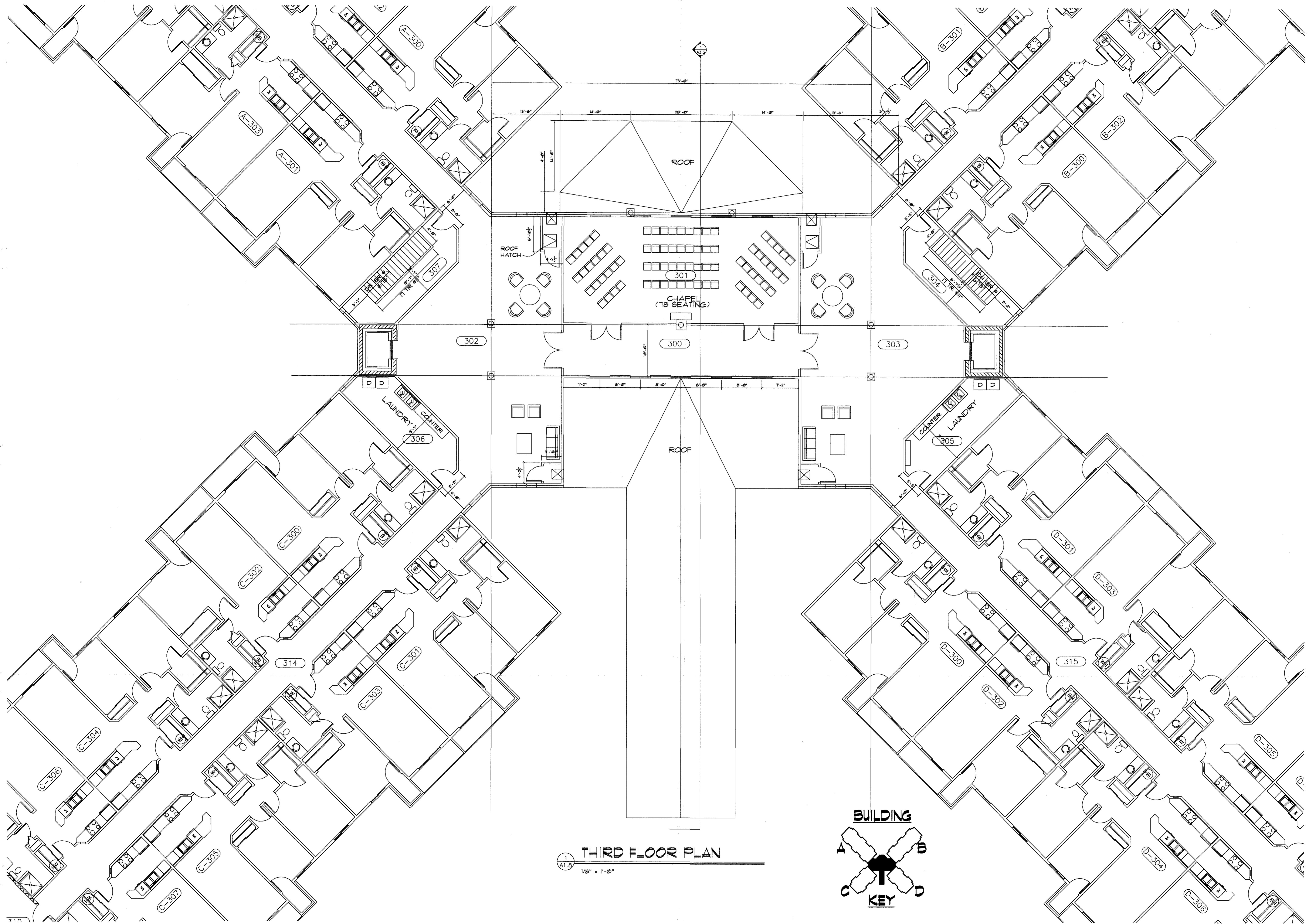


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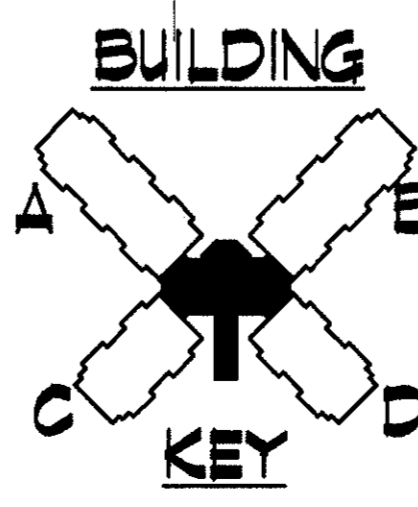
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1
A1.8
THIRD FLOOR PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

COMMONS THIRD
FLOOR PLAN

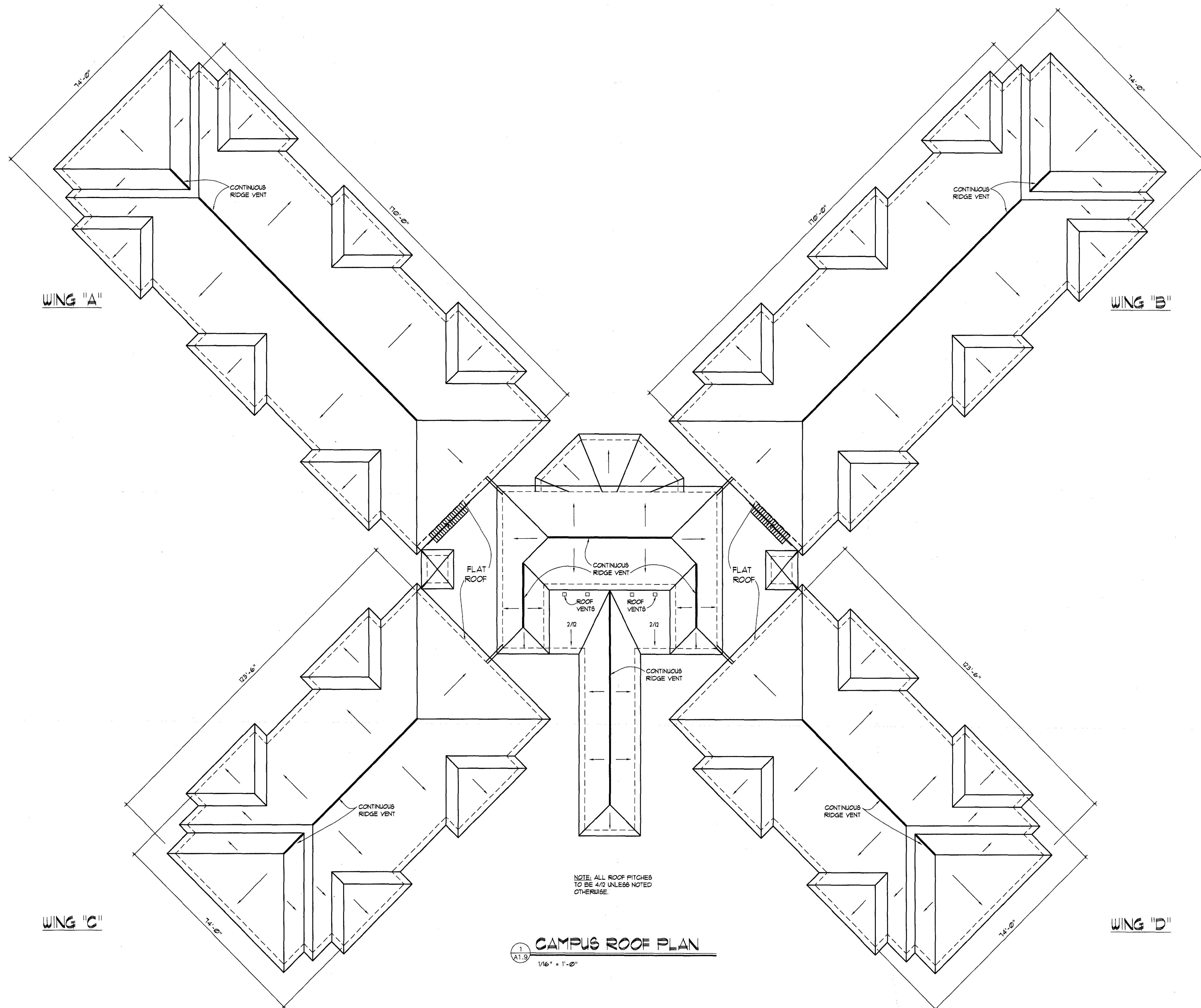
DATE
7/10/98

JOB NUMBER | DRAIN BY
RSL/EJK

SCALE
1/8" = 1'-0"

SHEET

A1.8



CAMPUS ROOF PLAN
 1/16" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CAMPUS

FLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS ROOF PLAN

DATE
 7/10/98

JOB NUMBER
 DRAWN BY
 RSL/EJK

SCALE
 1/16" = 1'-0"

SHEET
 A1.9

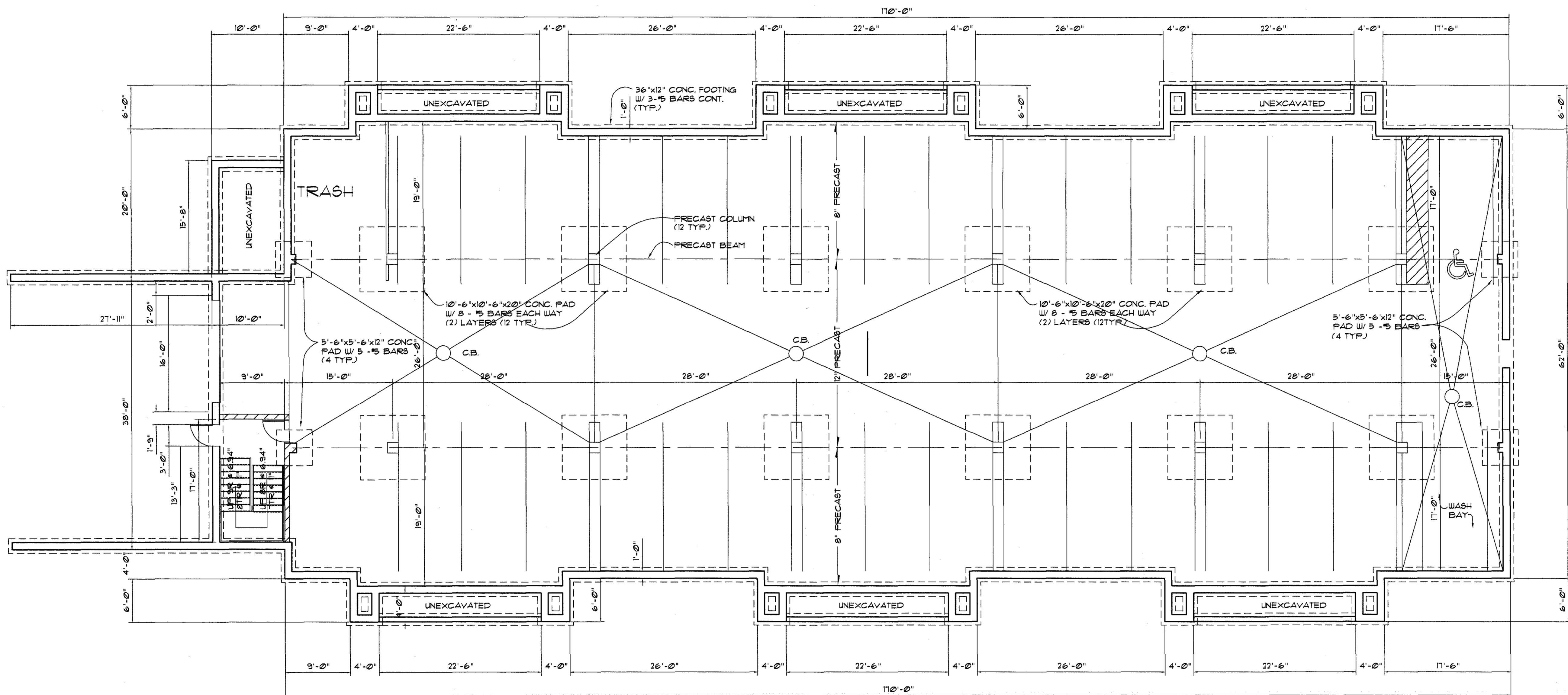


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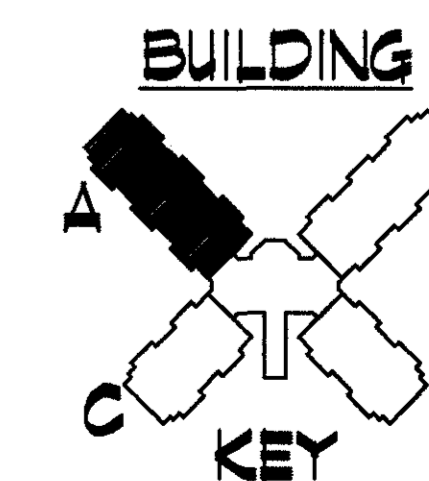
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1
AT.1A
WING "A" BASEMENT PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

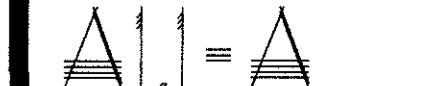
WING "A" BASEMENT
PLAN

DATE
7/10/98

JOB NUMBER
DRAIN BY
XXX

SCALE
1/8" = 1'-0"

SHEET



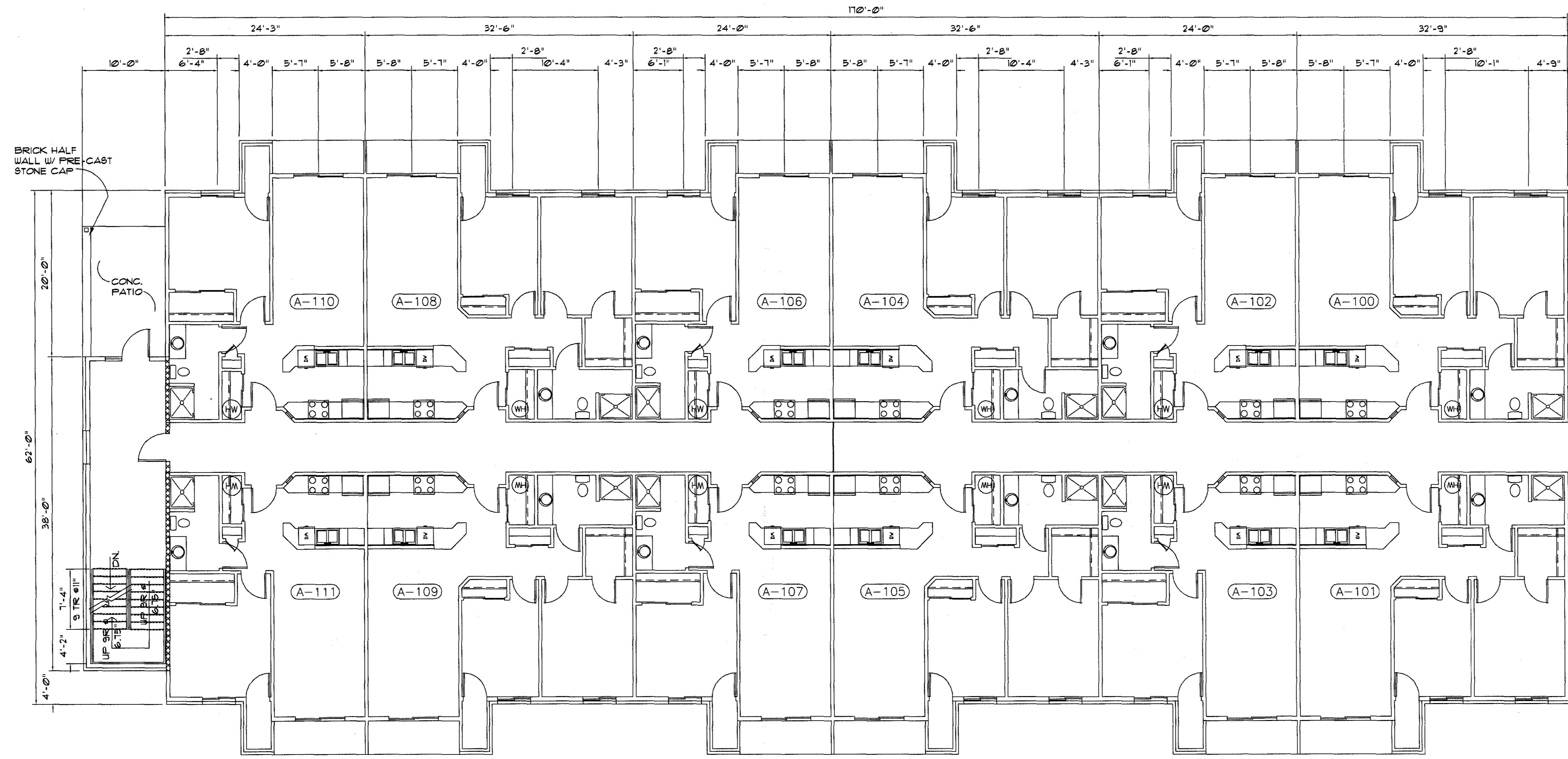


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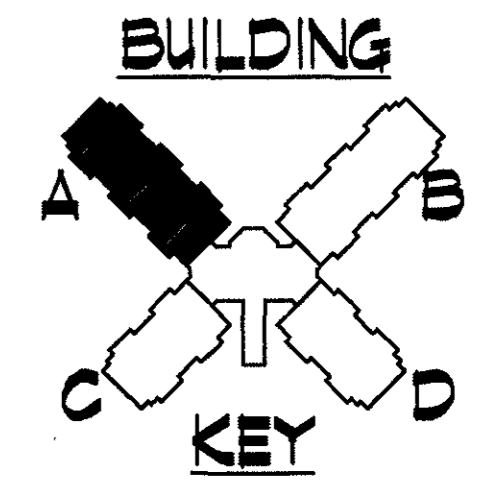
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11/14/98 - REVISED



1 WING "A" FIRST FLOOR
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "A" FIRST FLOOR PLAN

DATE
7/10/98

JOB NUMBER
XXXX

SCALE
1/8" = 1'-0"

SHEET
A1.2 = A

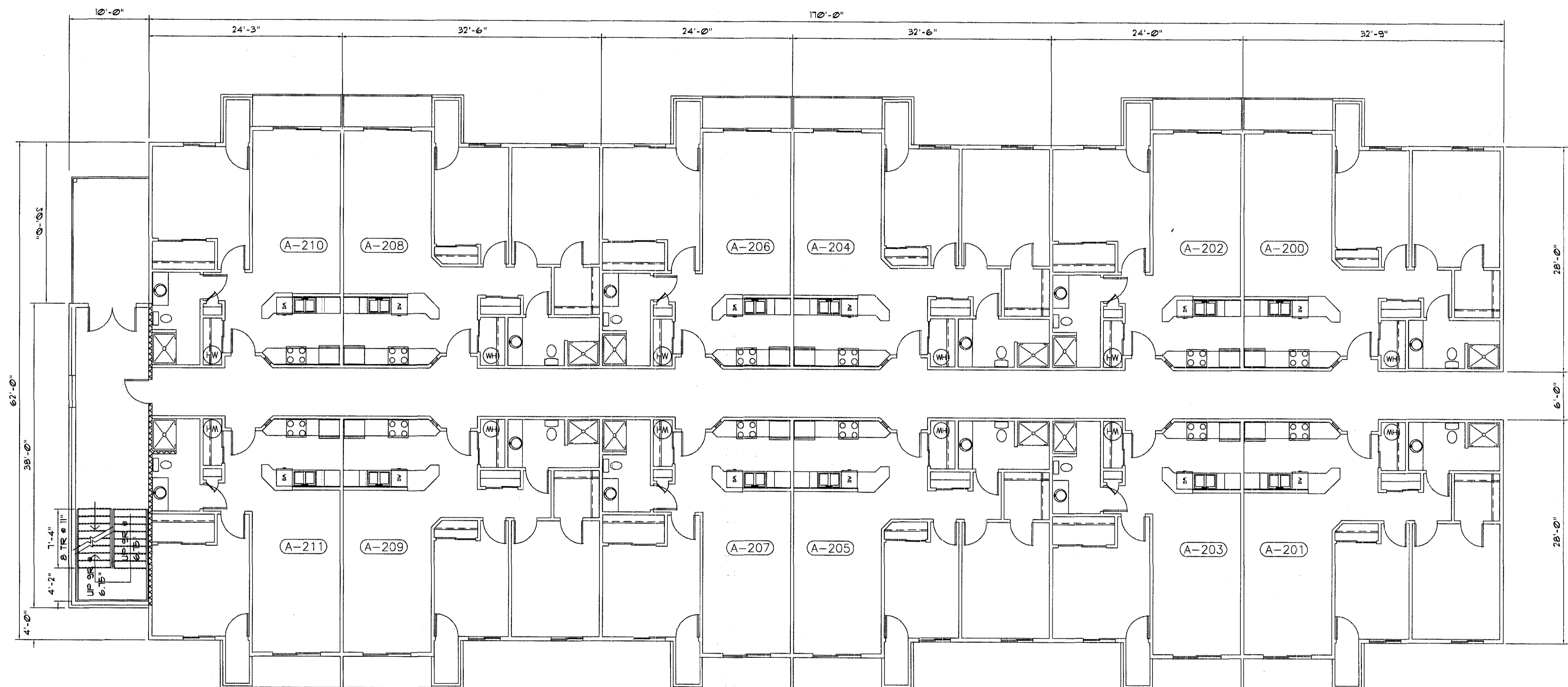


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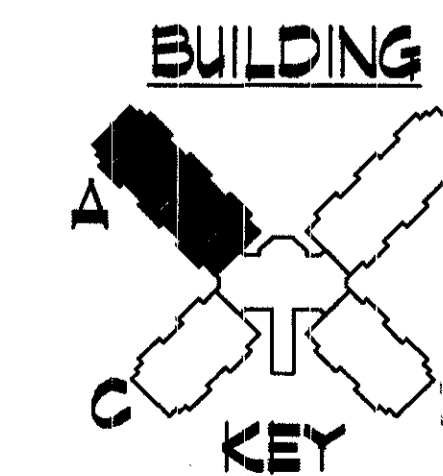
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1 WING "A" SECOND FLOOR PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "A" SECOND
FLOOR PLAN

DATE
1/10/98

JOB NUMBER DRAIN BY
XXXX

SCALE
1/8" = 1'-0"

SHEET

A1.3 = A

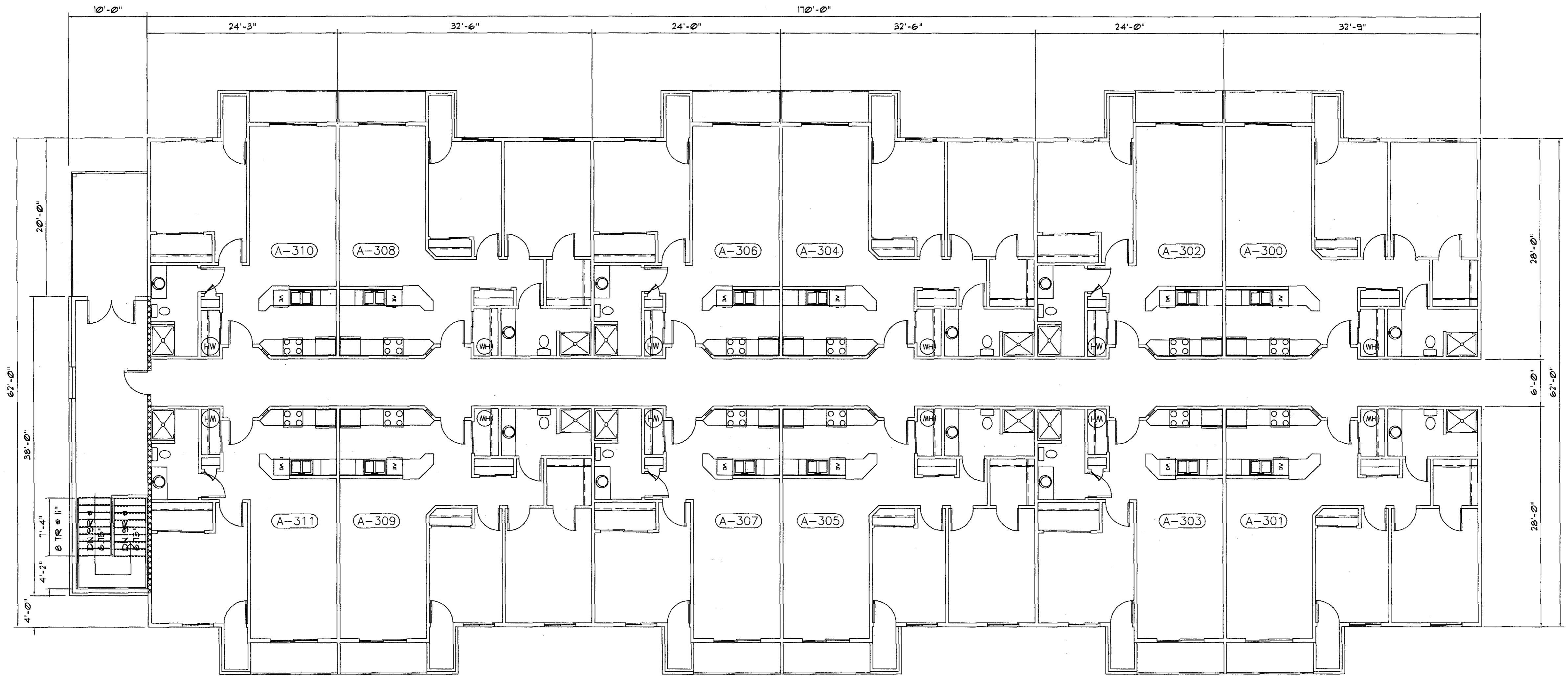


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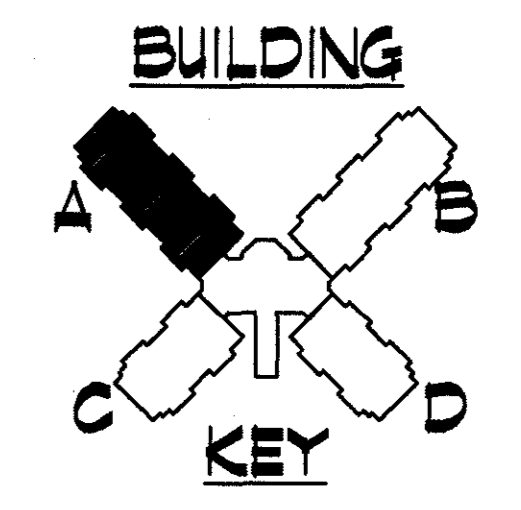
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1
A1.4A
WING "A" THIRD FLOOR PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "A" THIRD FLOOR PLAN

DATE
7/10/98

JOB NUMBER
DRAWN BY
XXX

SCALE
1/8" = 1'-0"

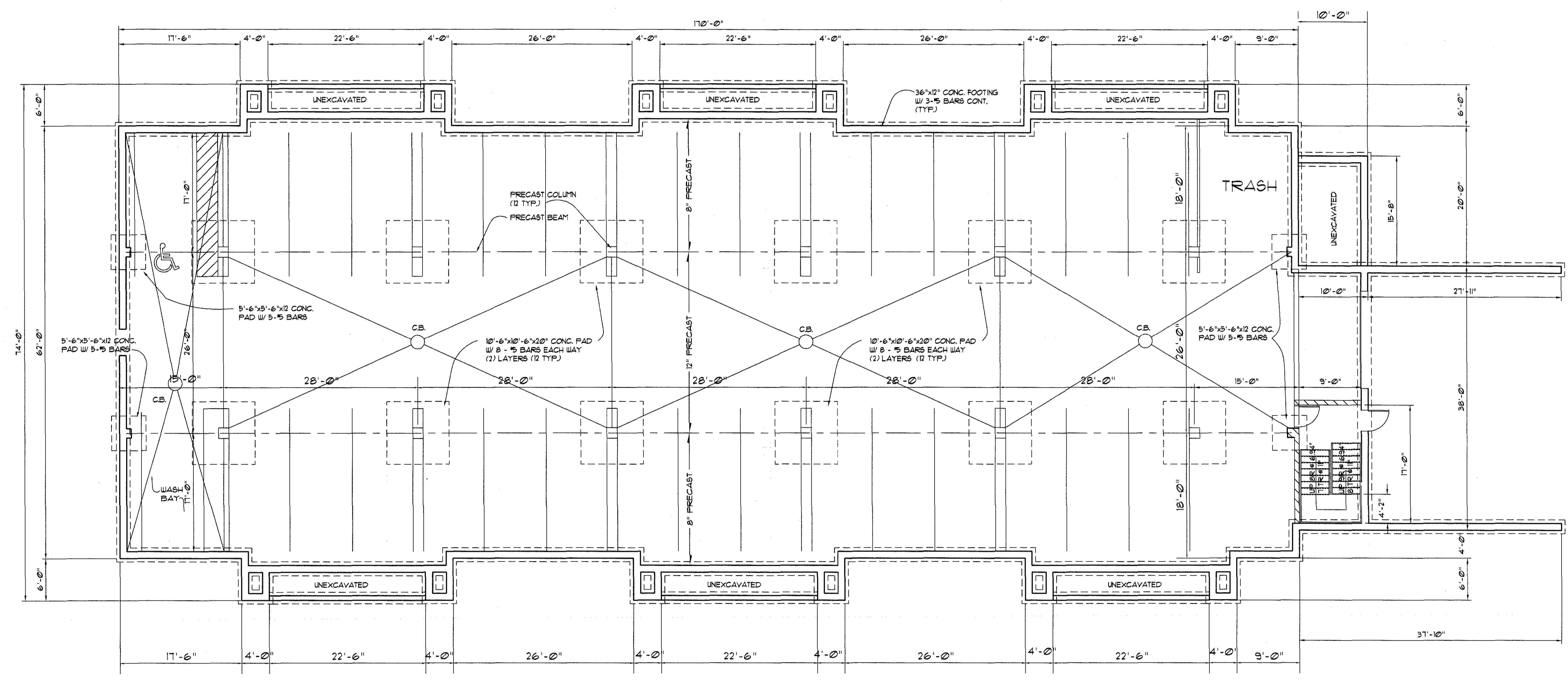
SHEET
A1.4 = A



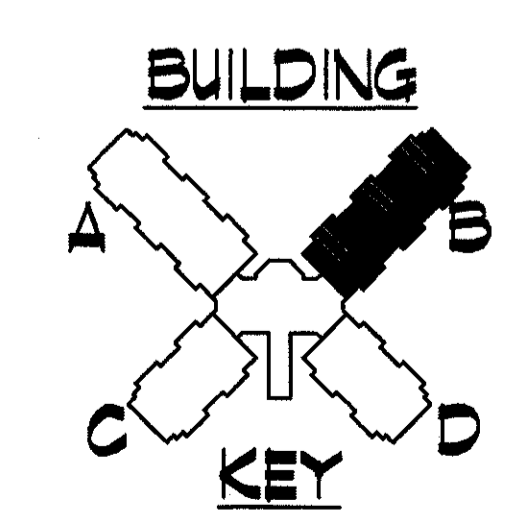
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WING "B" BASEMENT PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "B" BASEMENT PLAN

DATE
7/10/98

JOB NUMBER
DRAWN BY
R&L/BJK

SCALE
1/8" = 1'-0"

SHEET

A11-B

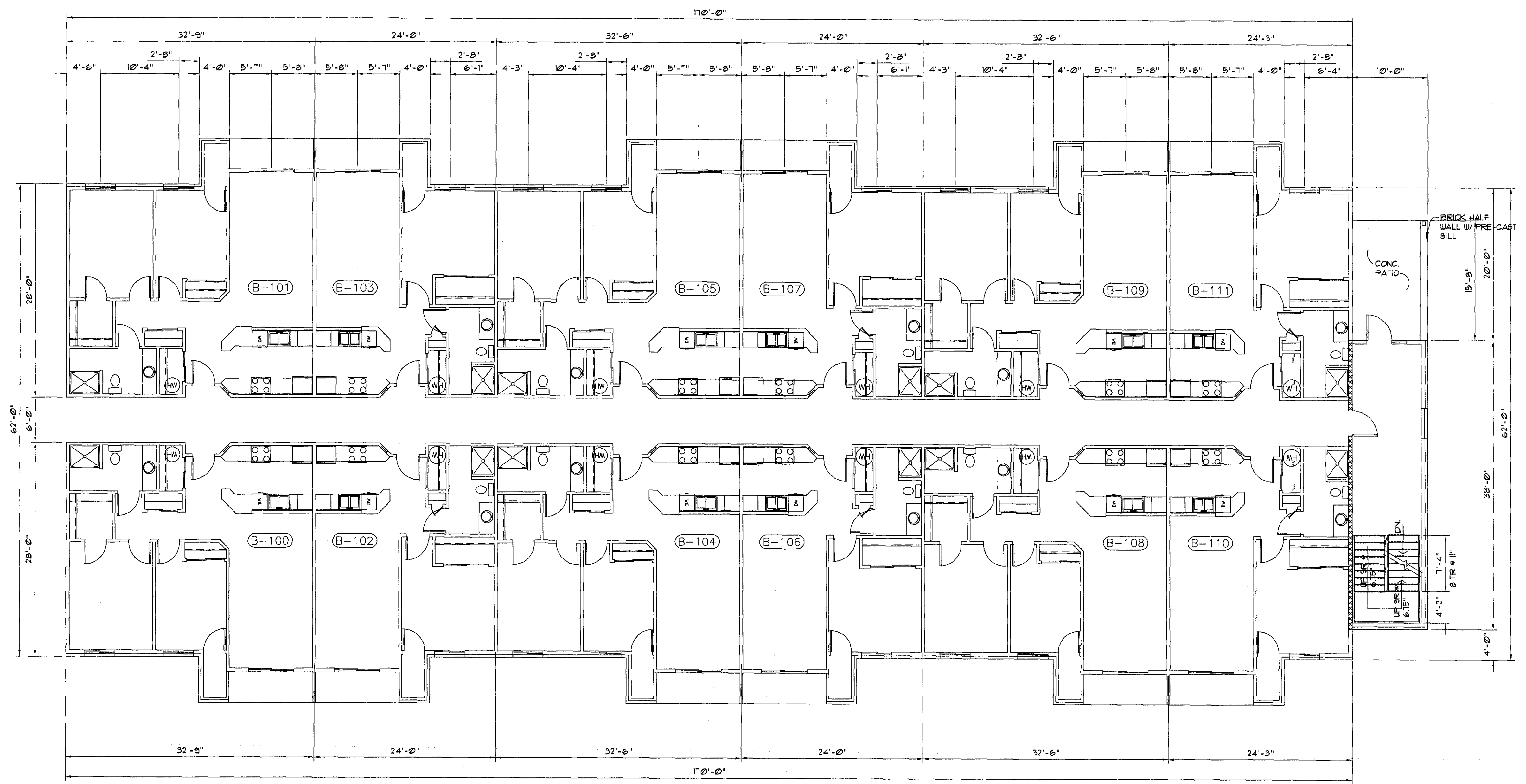


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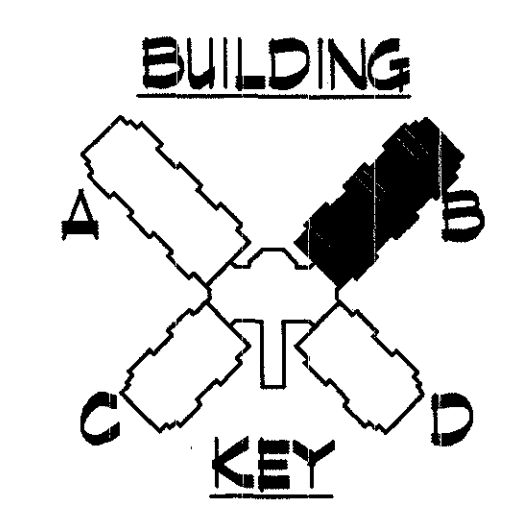
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1 WING "B" FIRST FLOOR
A1.2B
1/8" = 1'-0"



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PROJECT
PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "B" FIRST FLOOR PLAN

DATE
7/10/98

JOB NUMBER DRAIN BY
RSL/BJK

SCALE
1/8" = 1'-0"

SHEET
A1.2-B

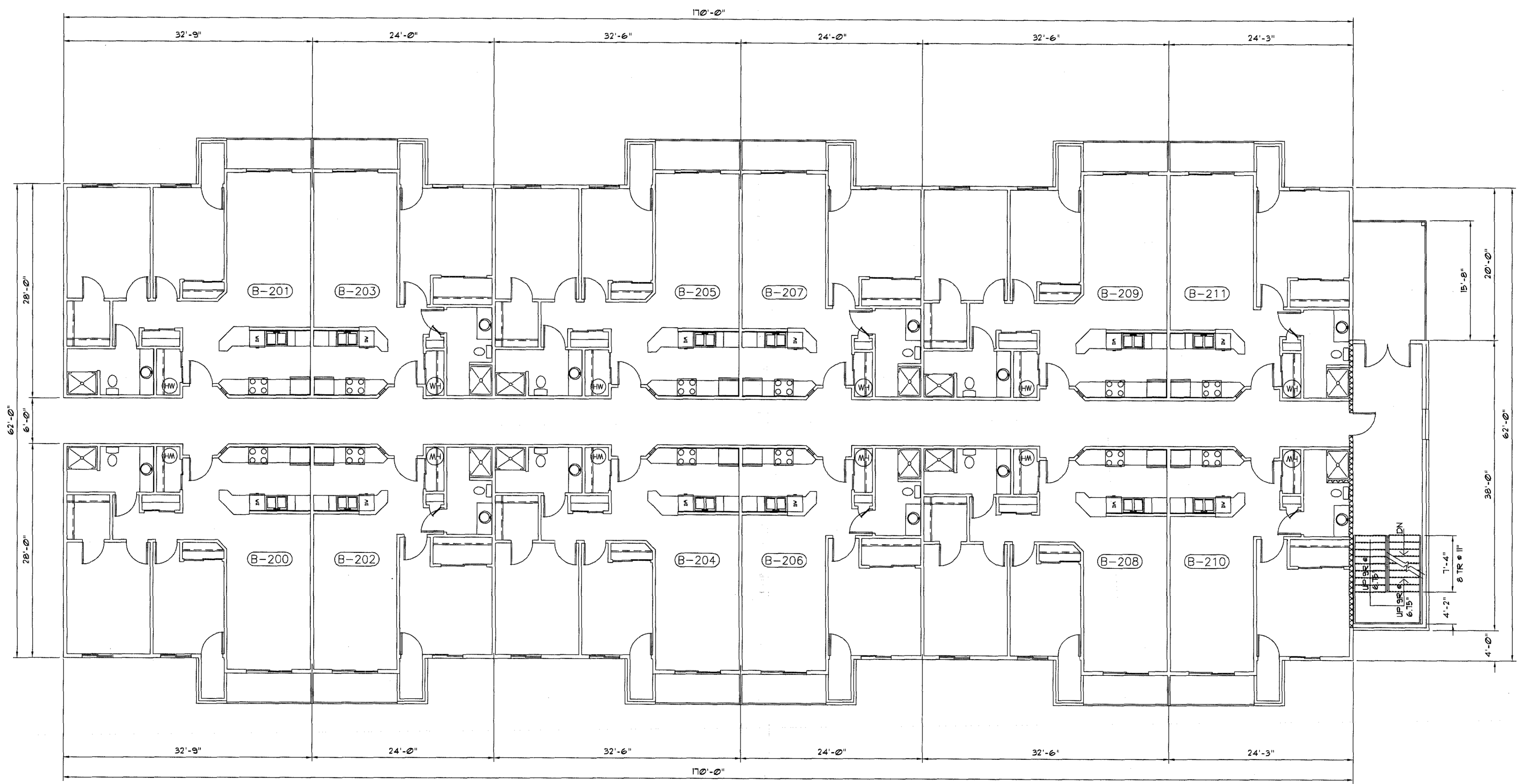


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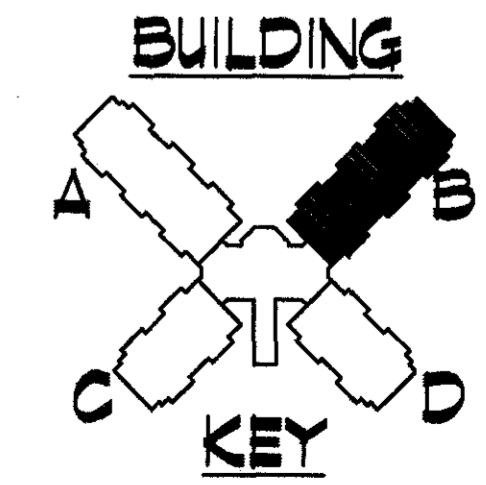
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1
A1.3B
1/8" = 1'-0"

WING "B" SECOND FLOOR PLAN



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "B" SECOND FLOOR PLAN

DATE
7/10/98

JOB NUMBER | DRAWN BY
RSL/EJK

SCALE
1/8" = 1'-0"

SHEET
A1.3-B

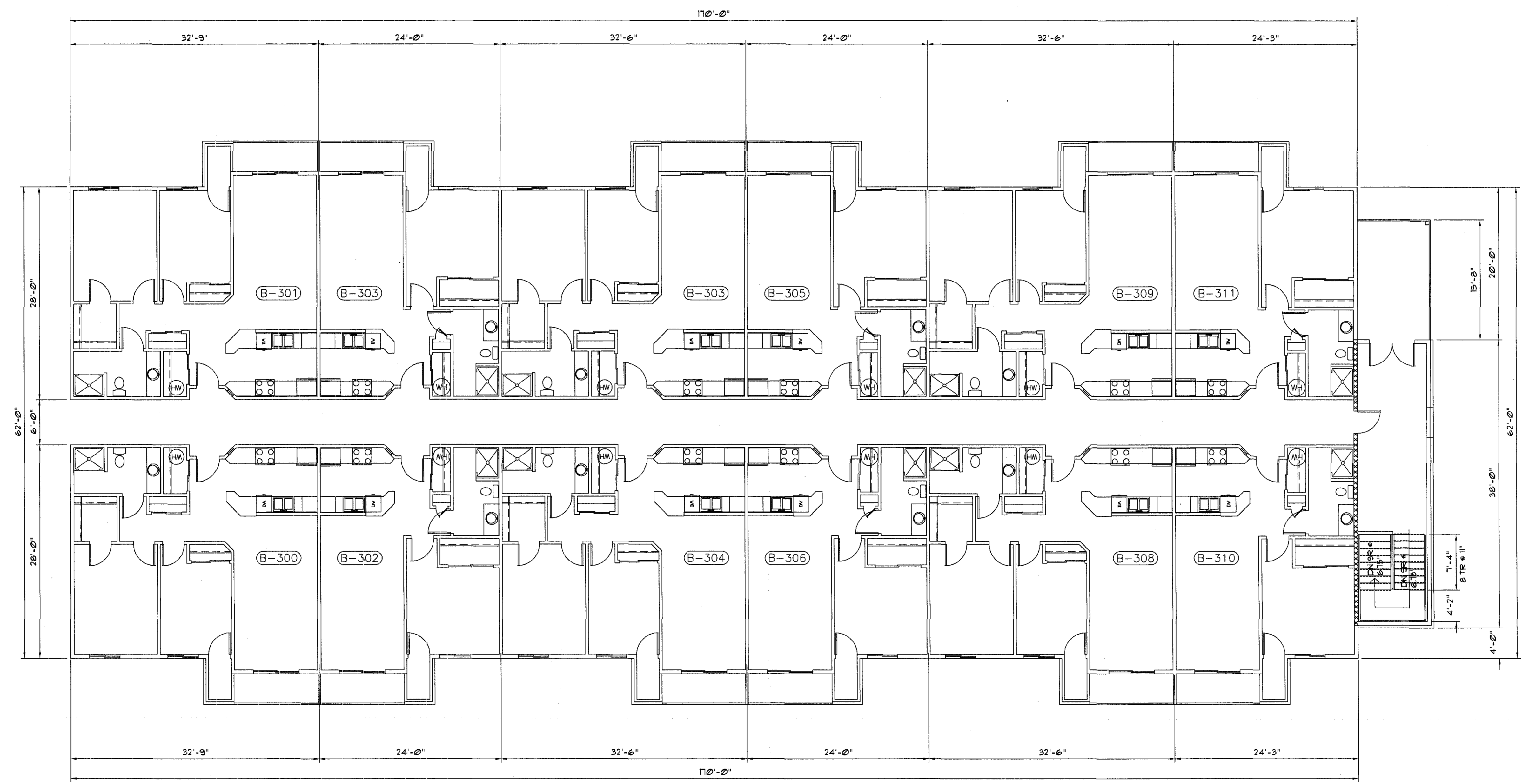


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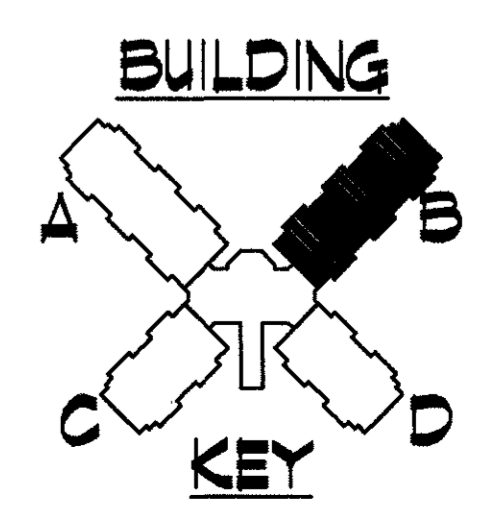
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1 WING "B" THIRD FLOOR PLAN
A1.4B
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "B" THIRD
FLOOR PLAN

DATE
7/10/98

JOB NUMBER DRAWN BY
RBL/BJK

SCALE
1/8" = 1'-0"

SHEET
A1.4-B

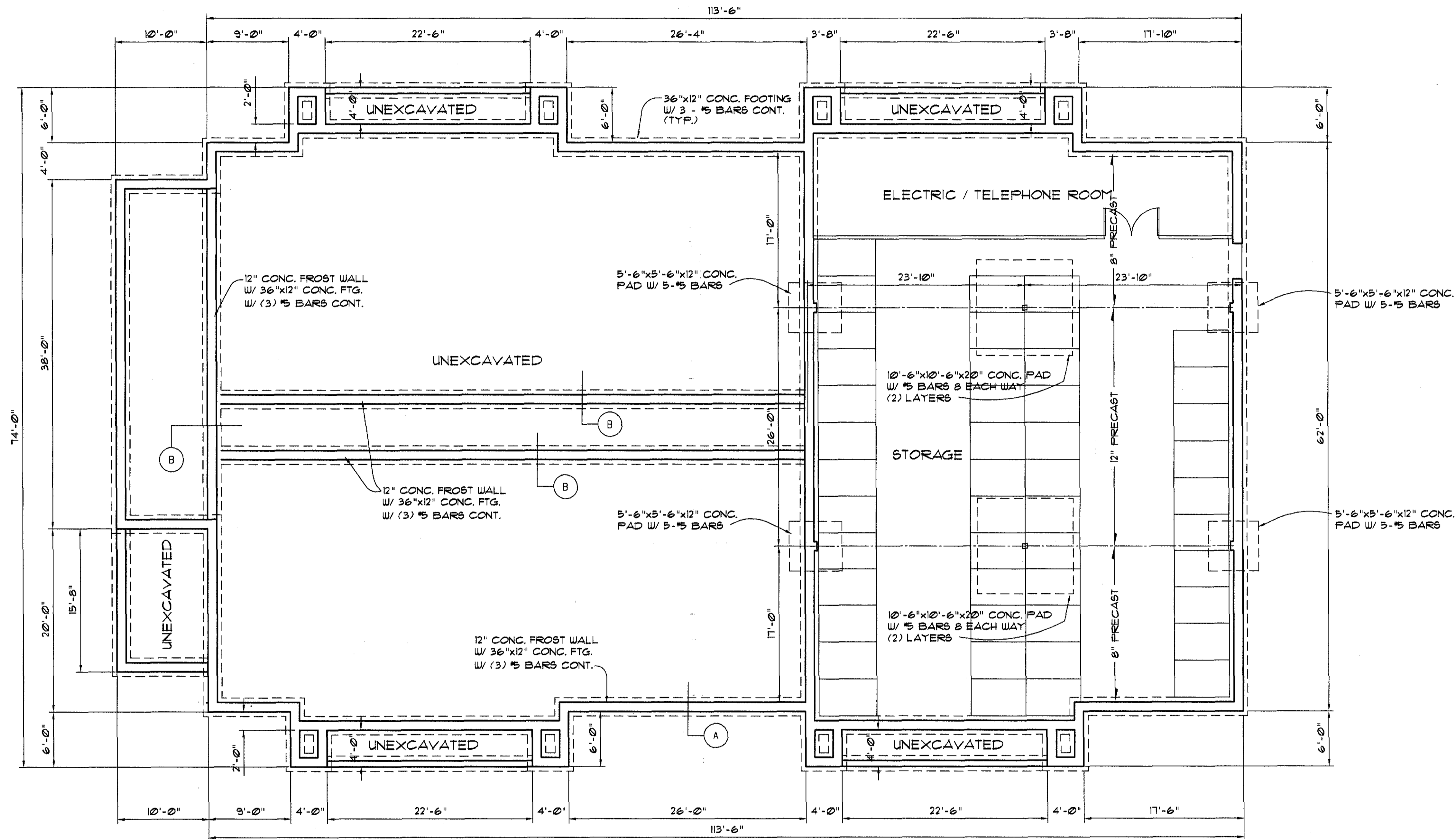


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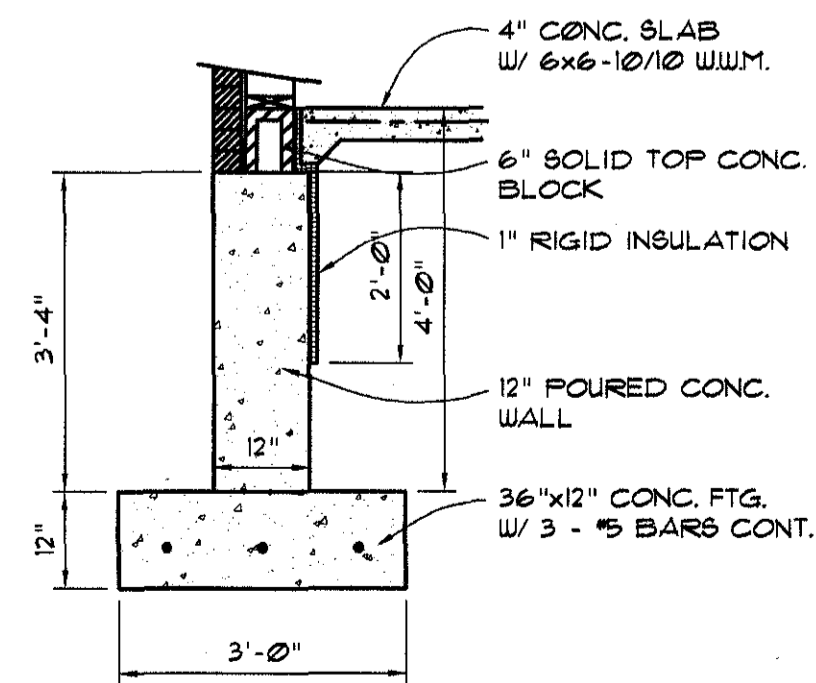
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WING "C" BASEMENT PLAN

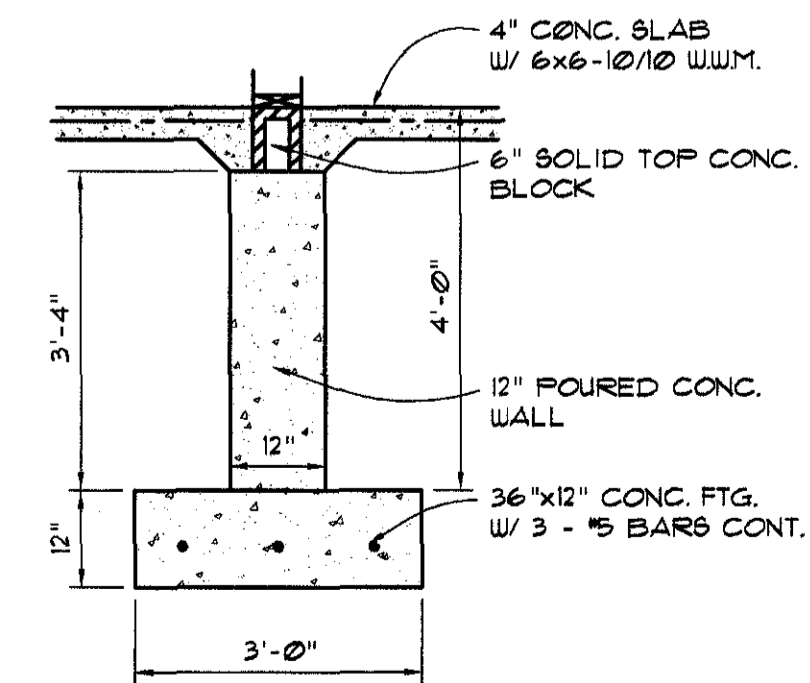
1
A1.10

1/8" = 1'-0"



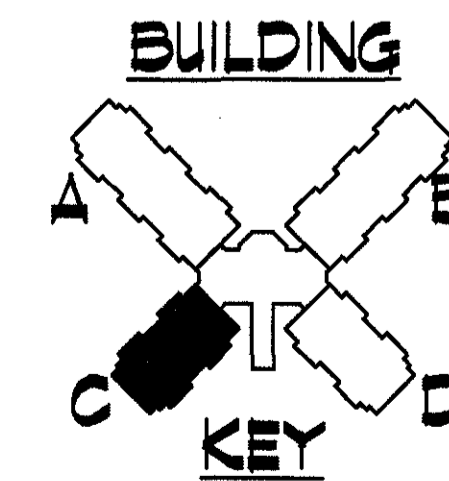
EXTERIOR FROST WALL

1/2" = 1'-0"



INTERIOR FROST WALL

1/2" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "C" BASEMENT PLAN

DATE

1/10/98

JOB NUMBER

DRAWN BY

RSL/BJK

SCALE

1/8" = 1'-0"

SHEET

A1.1-C

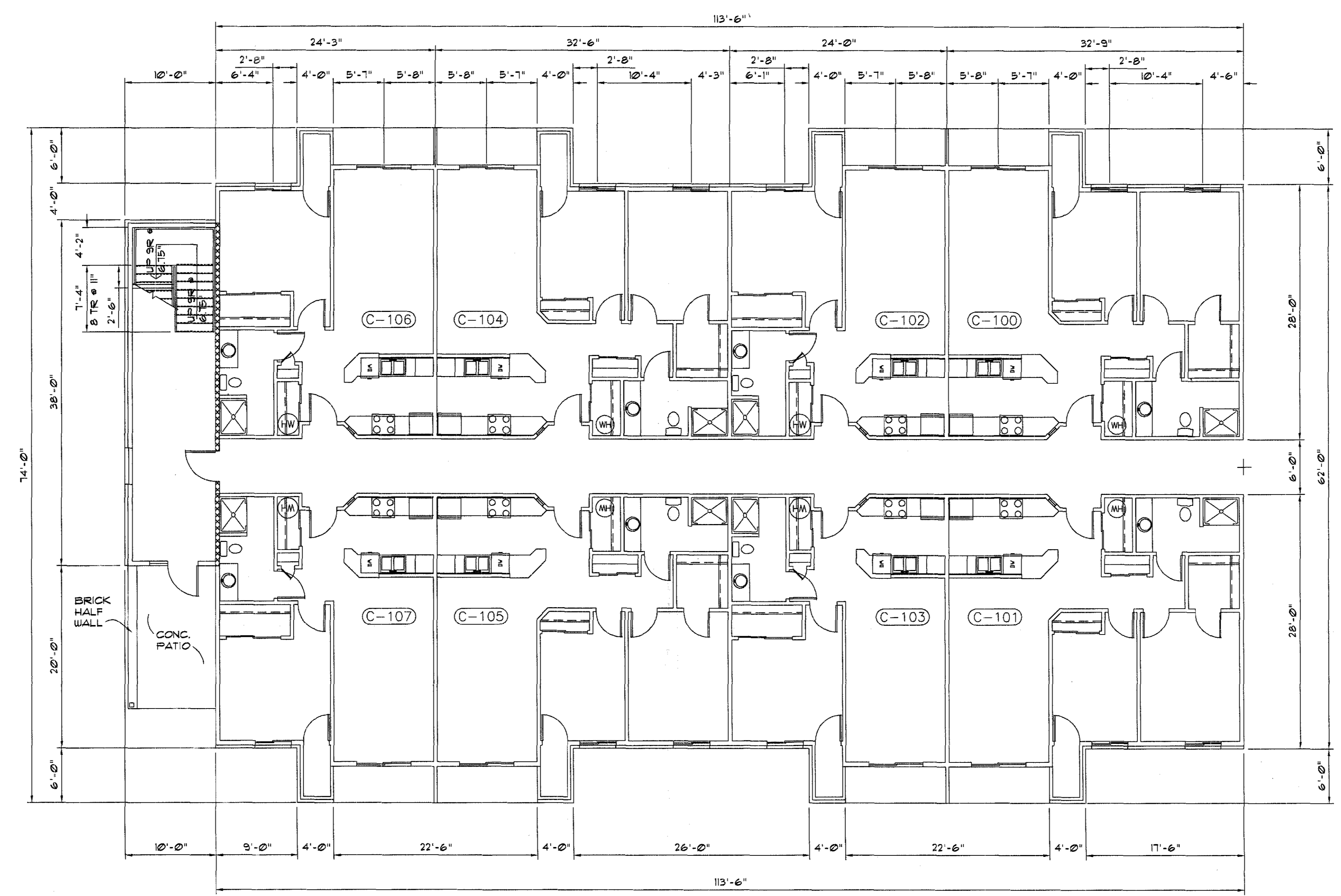


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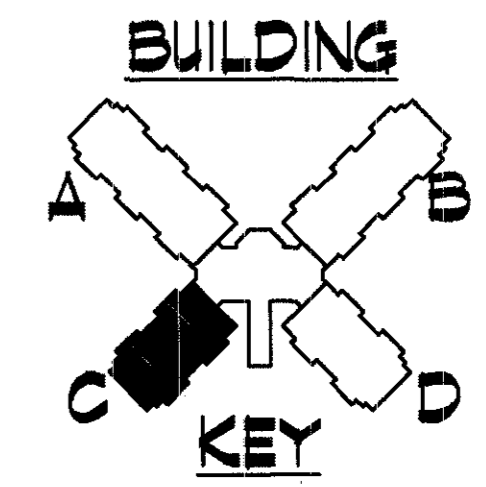
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1 WING "C" FIRST FLOOR
1/8" = 1'-0"



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PROJECT

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SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "C" FIRST
FLOOR PLAN

DATE
7/10/98

JOB NUMBER DRAIN BY
RSL/BJK

SCALE
1/8" = 1'-0"

SHEET

A12-C

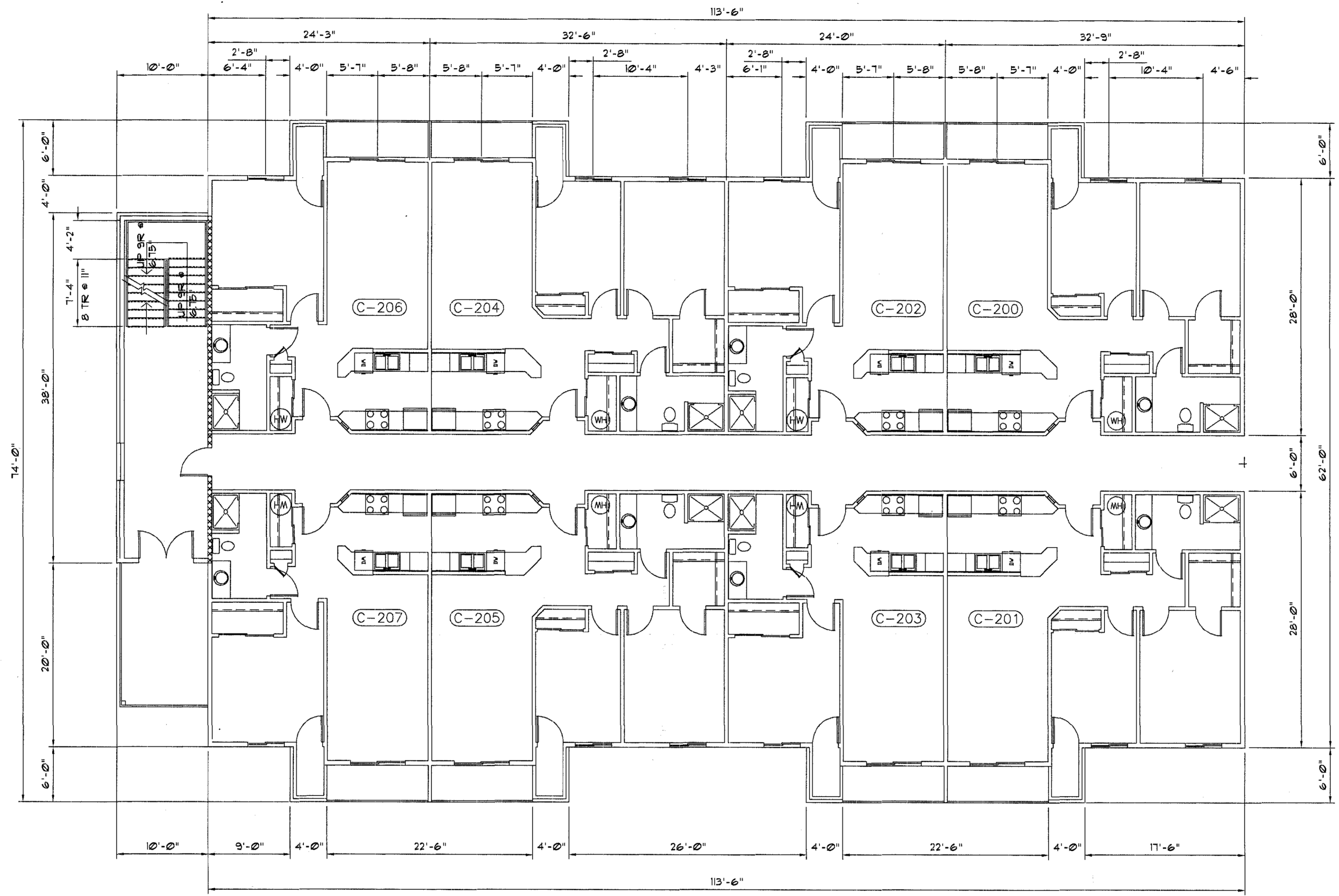


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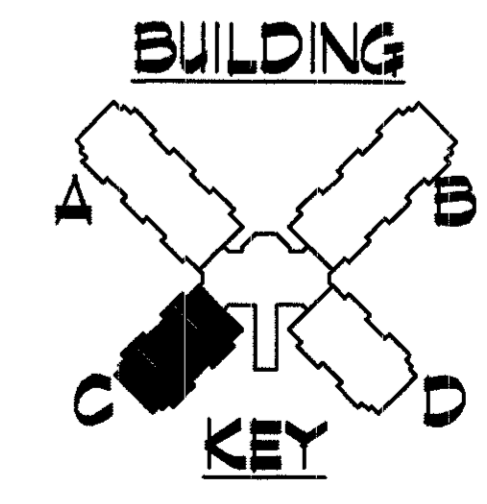
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WING "C" SECOND FLOOR PLAN
1/8" = 1'-0"



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PROJECT
PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI
SHEET TITLE

WING "C" SECOND FLOOR PLAN

DATE
7/10/98

JOB NUMBER DRAWN BY
RSL/BJK

SCALE
1/8" = 1'-0"

SHEET
A13-C

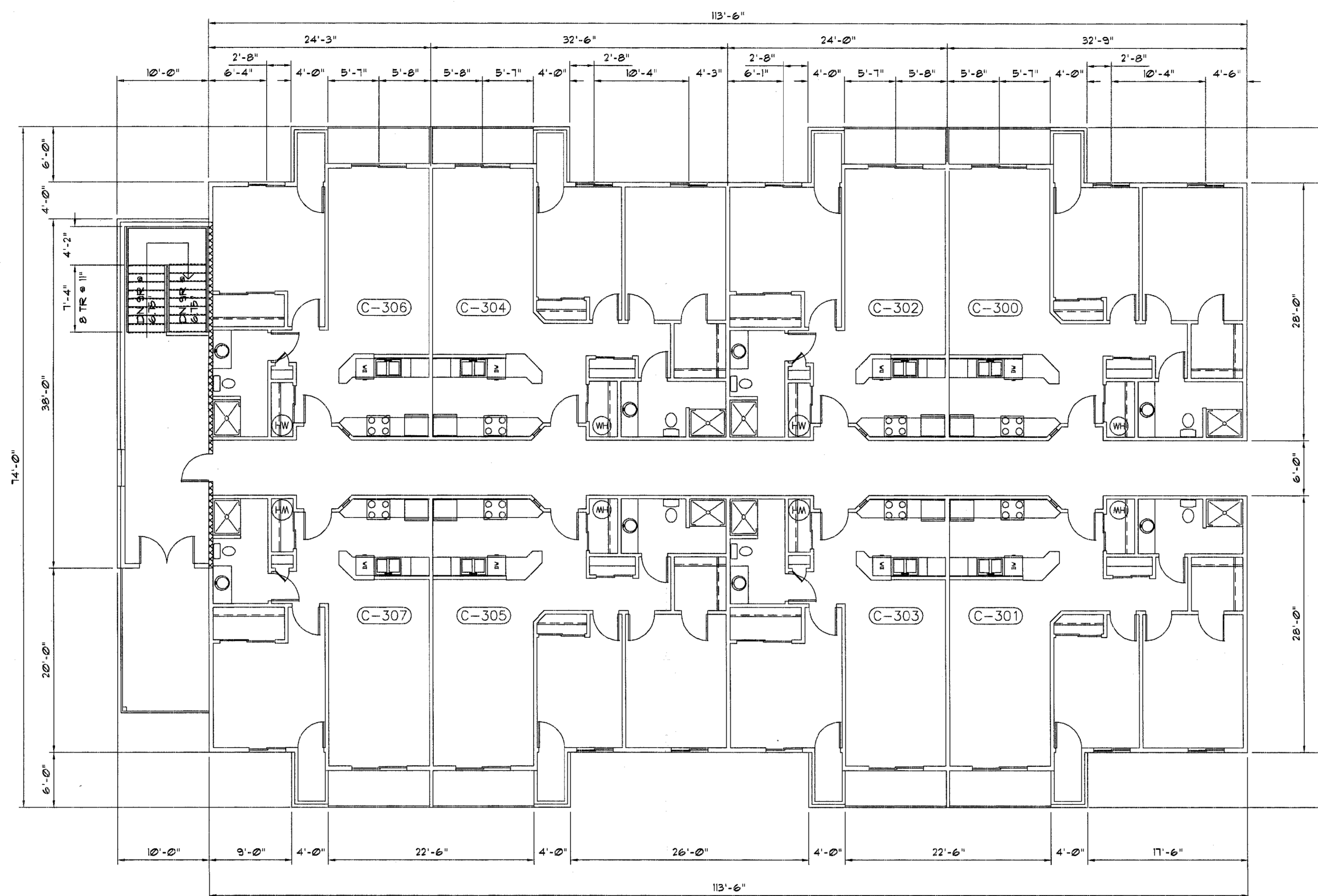


19275 W. CAPITOL DR.
BROOKFIELD, WI
53045

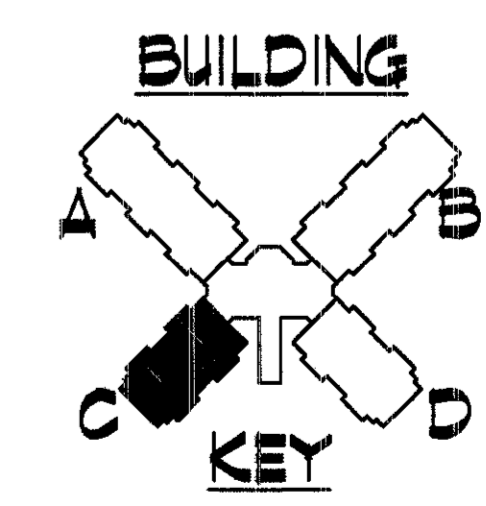
OFFICE 414-790-6000
FAX 414-790-6010
E-MAIL vkdc@execpc.com

VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS
10/26/98 - REVISED
1/14/99 - REVISED



WING "C" THIRD FLOOR PLAN
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "C" THIRD FLOOR PLAN

DATE
7/10/98

JOB NUMBER | DRAIN BY
RSL/BJK

SCALE
1/8" = 1'-0"

SHEET
A1.4=C

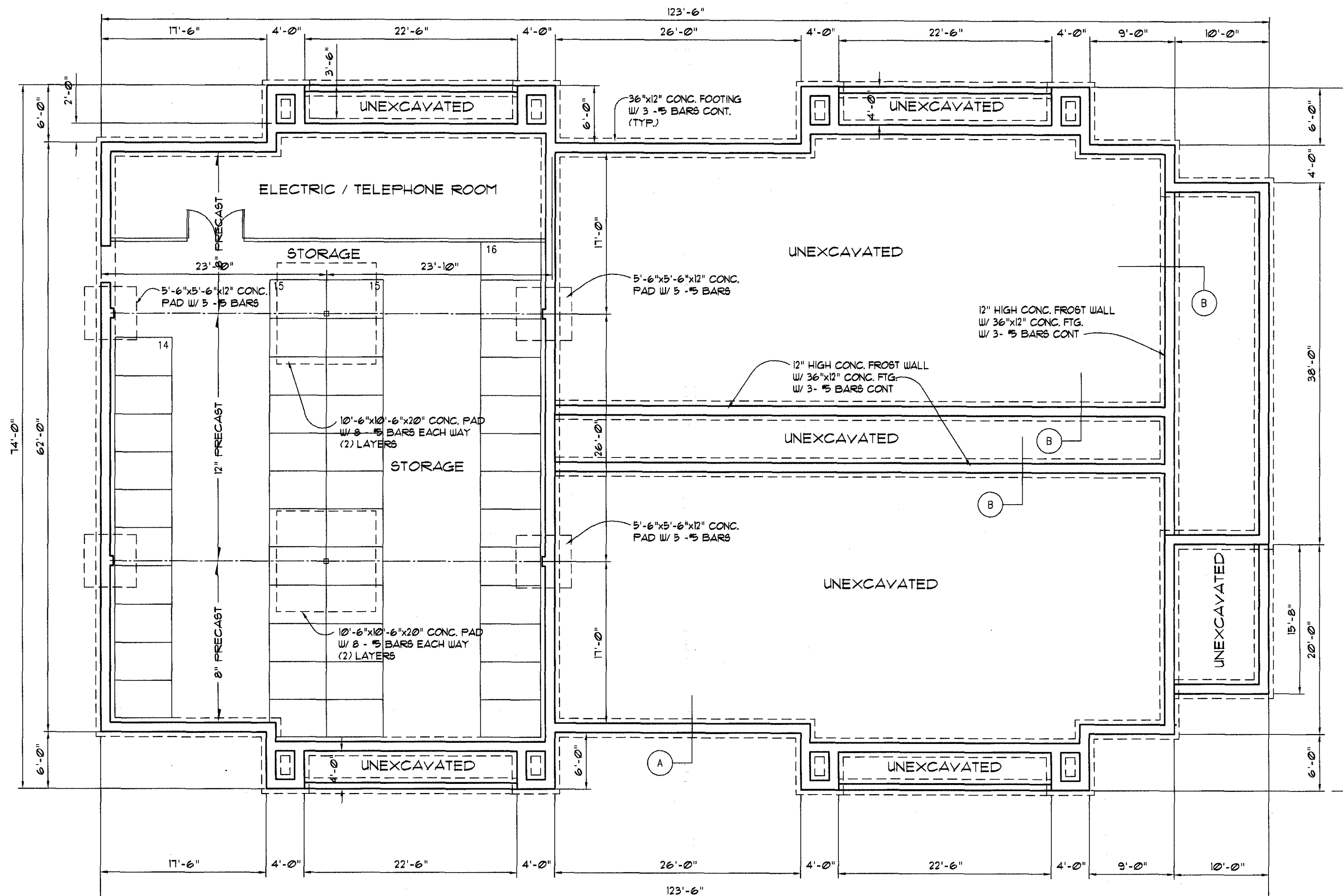


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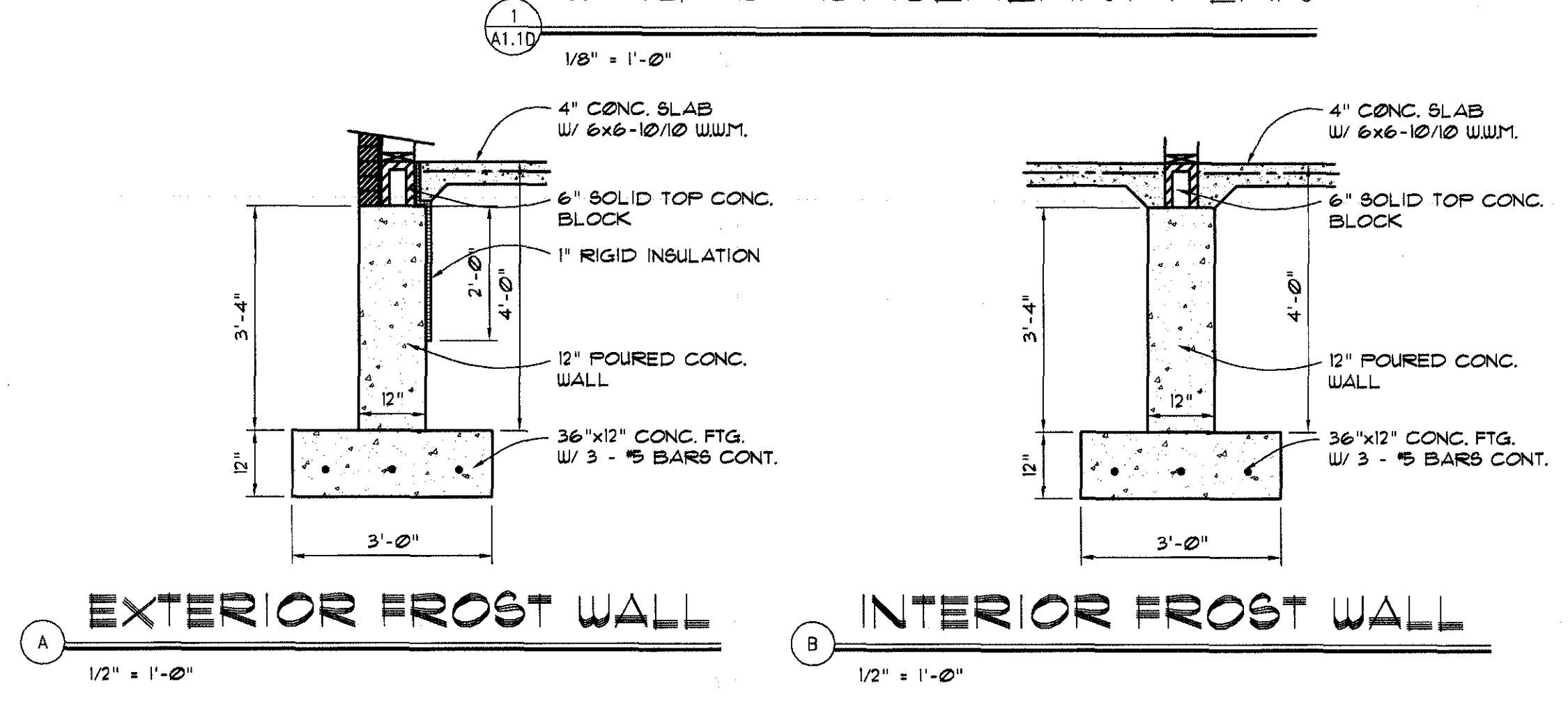
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FAX 414-790-6010
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REVISIONS
10/26/95 - REVISED
01/14/98 - REVISED

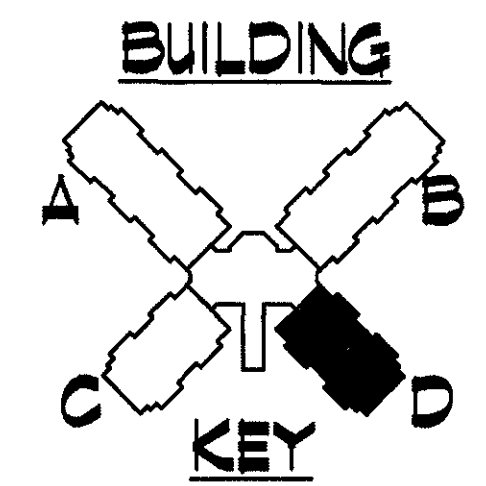


WING "D" BASEMENT PLAN



EXTERIOR FROST WALL

INTERIOR FROST WALL



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PROJECT
PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI
SHEET TITLE
WING "D" BASEMENT PLAN

DATE
7/10/98
JOB NUMBER
DRAIN BY
RSL/EJK

SCALE
1/8" = 1'-0"

SHEET
A11-D

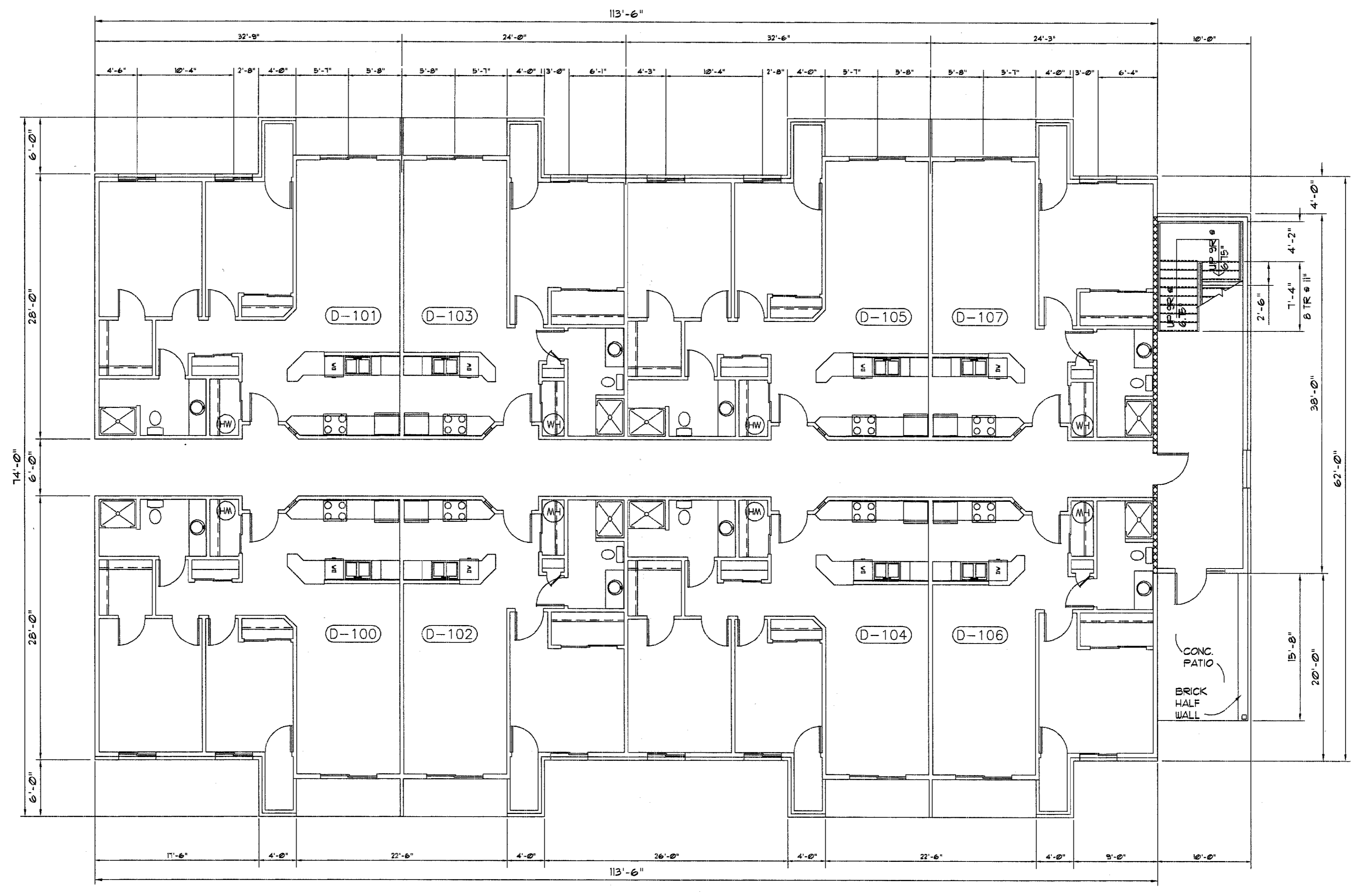


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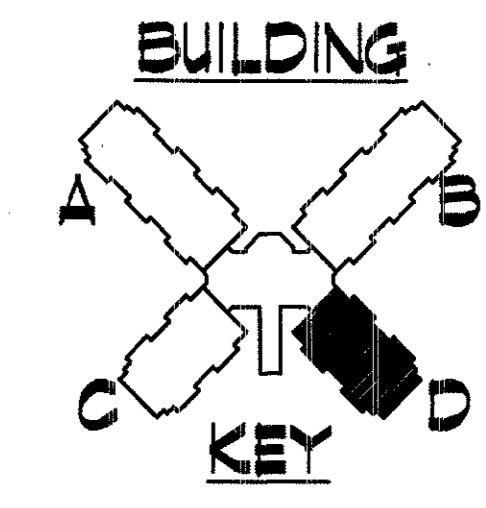
OFFICE 414-790-6000
FAX 414-790-6010
E-MAIL vkdc@execpc.com

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1 WING "D" FIRST FLOOR
1/8" = 1'-0"



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PROJECT
PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI
SHEET TITLE

WING "D" FIRST FLOOR PLAN

DATE
7/10/98

JOB NUMBER DRAWN BY
RSL/EJK

SCALE
1/8" = 1'-0"

SHEET
A1.2-D

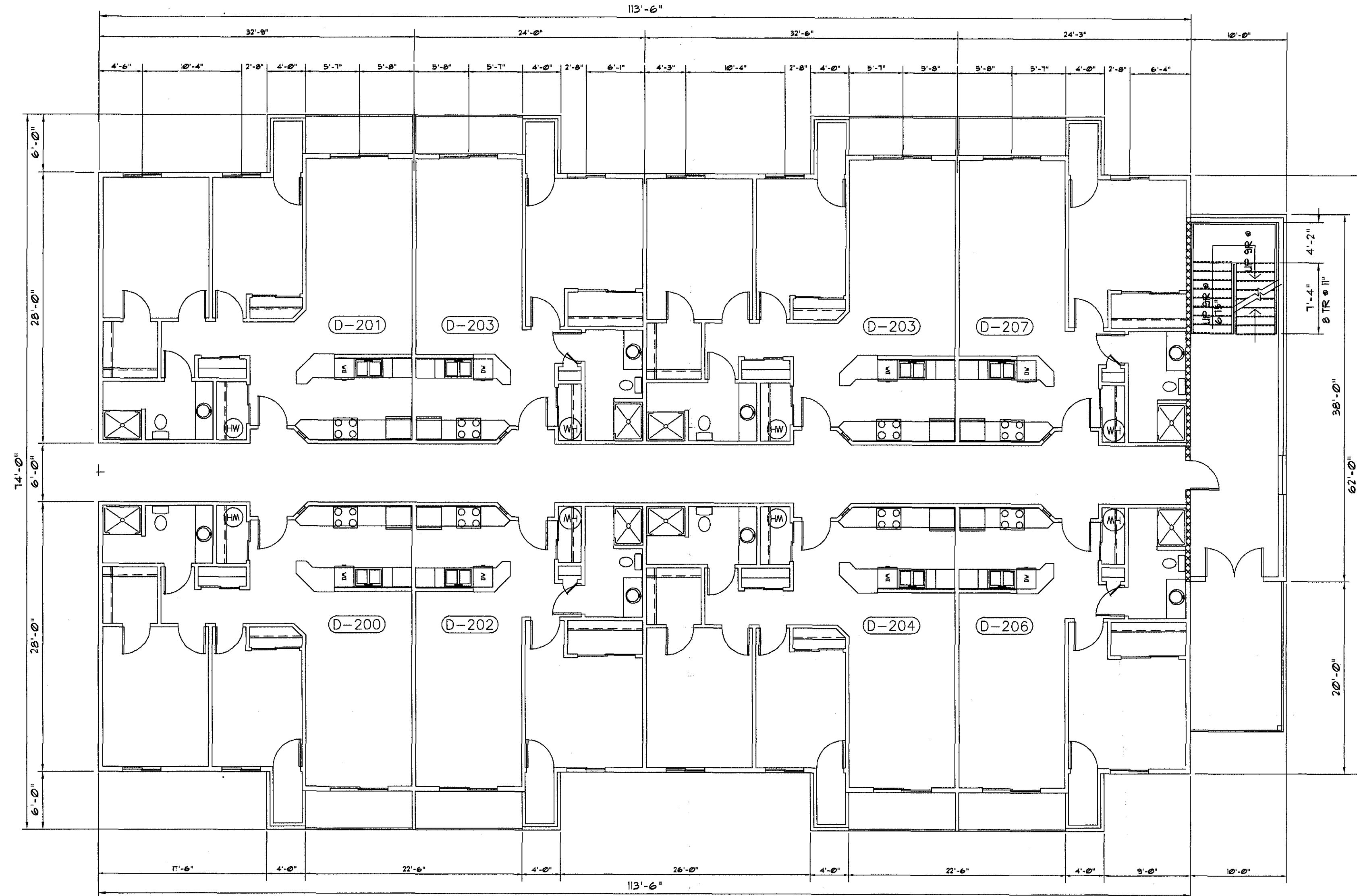


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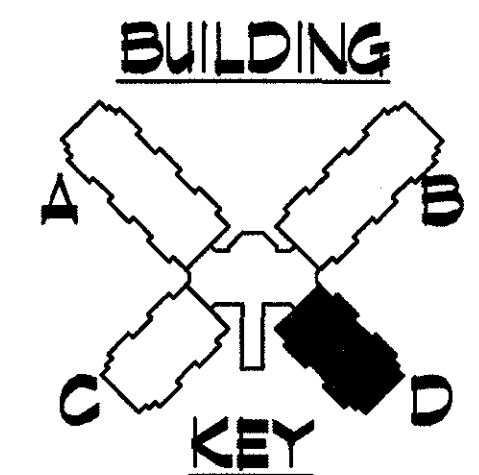
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1 WING "D" SECOND FLOOR PLAN
A1.3D
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "D" SECOND
FLOOR PLAN

DATE

1/10/98

JOB NUMBER

DRAWN BY

R&L/BJK

SCALE

1/8" = 1'-0"

SHEET

A1.3-D

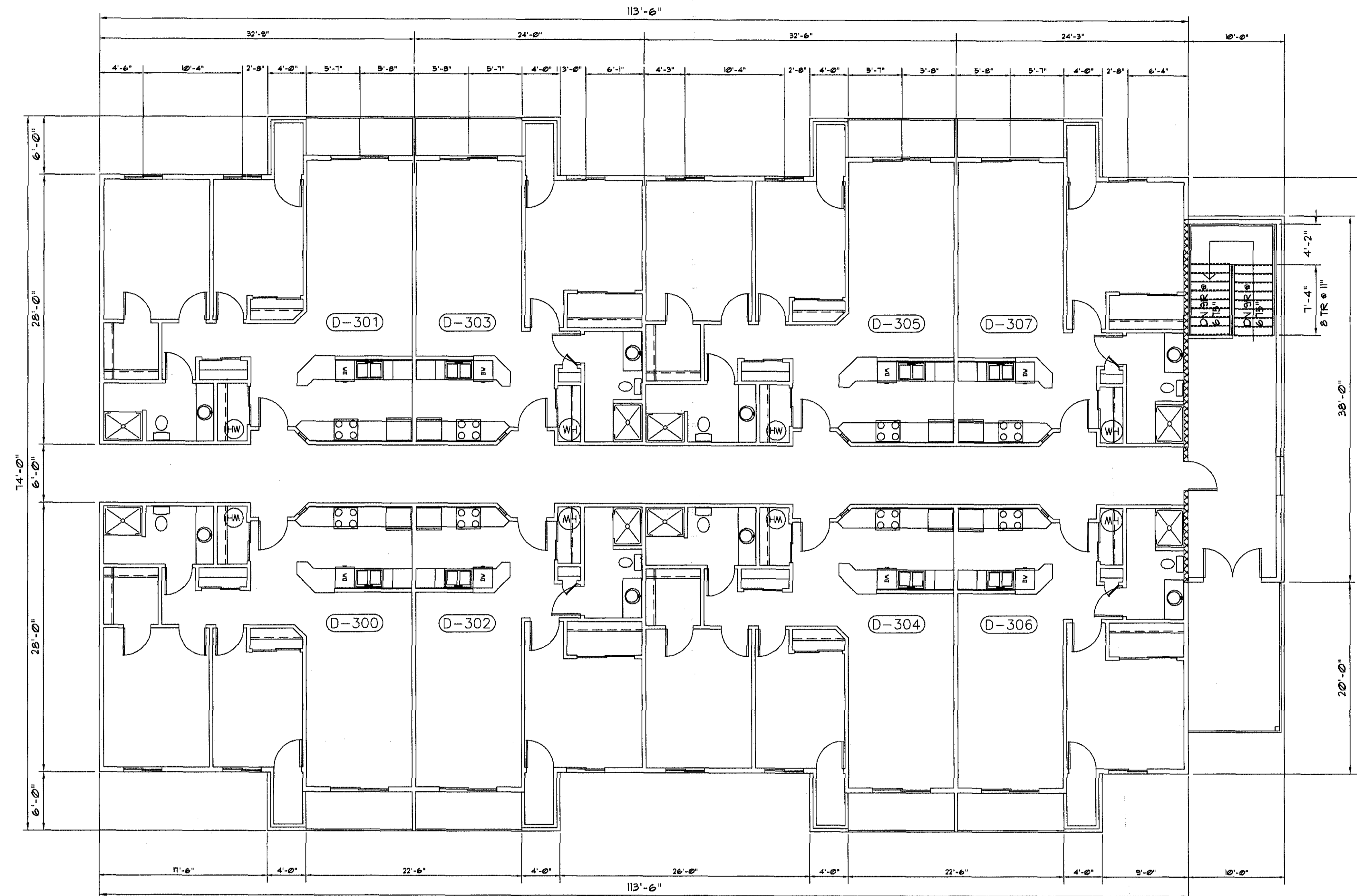


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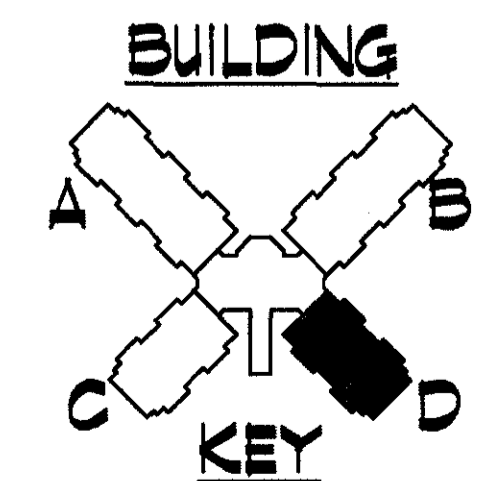
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WING "D" THIRD FLOOR PLAN

1
A1.4D
1/8" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

WING "D" THIRD
FLOOR PLAN

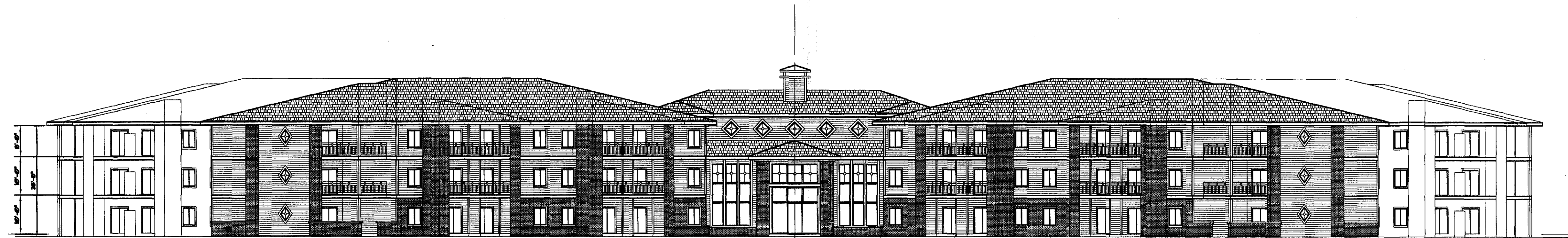
DATE
7/10/98

JOB NUMBER DRAIN BY
RSL/BJK

SCALE
1/8" = 1'-0"

SHEET

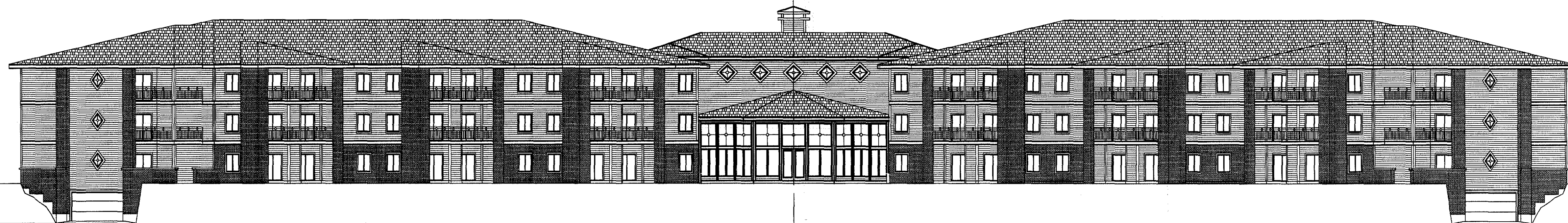
A1.4-D



FRONT ELEVATION

1
A2.1

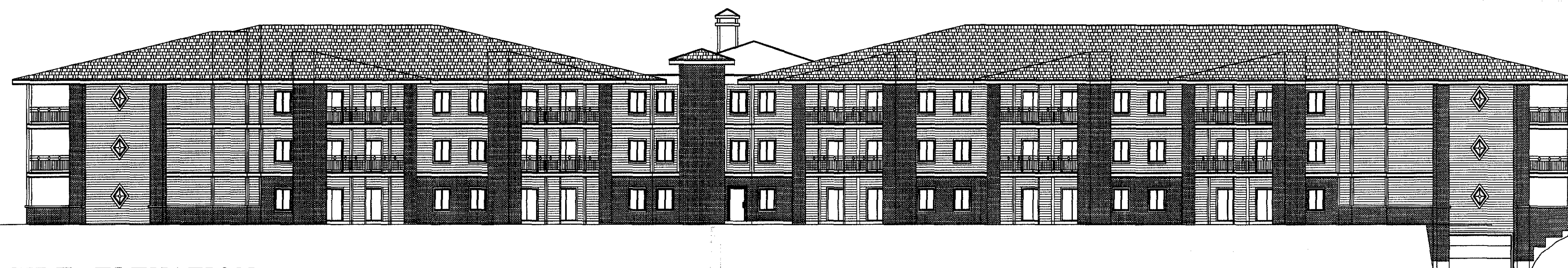
1/16" = 1'-0"



BACK ELEVATION

2
A2.1

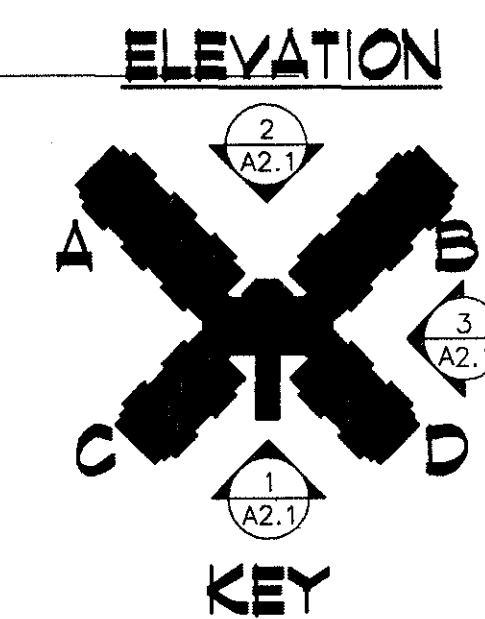
1/16" = 1'-0"



SIDE ELEVATION

3
A2.1

1/16" = 1'-0"



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

EXTERIOR
ELEVATIONS

DATE

7/10/98

JOB NUMBER

DRAWN BY

RBL/BJK

SCALE

1/16" = 1'-0"

SHEET

A2.1

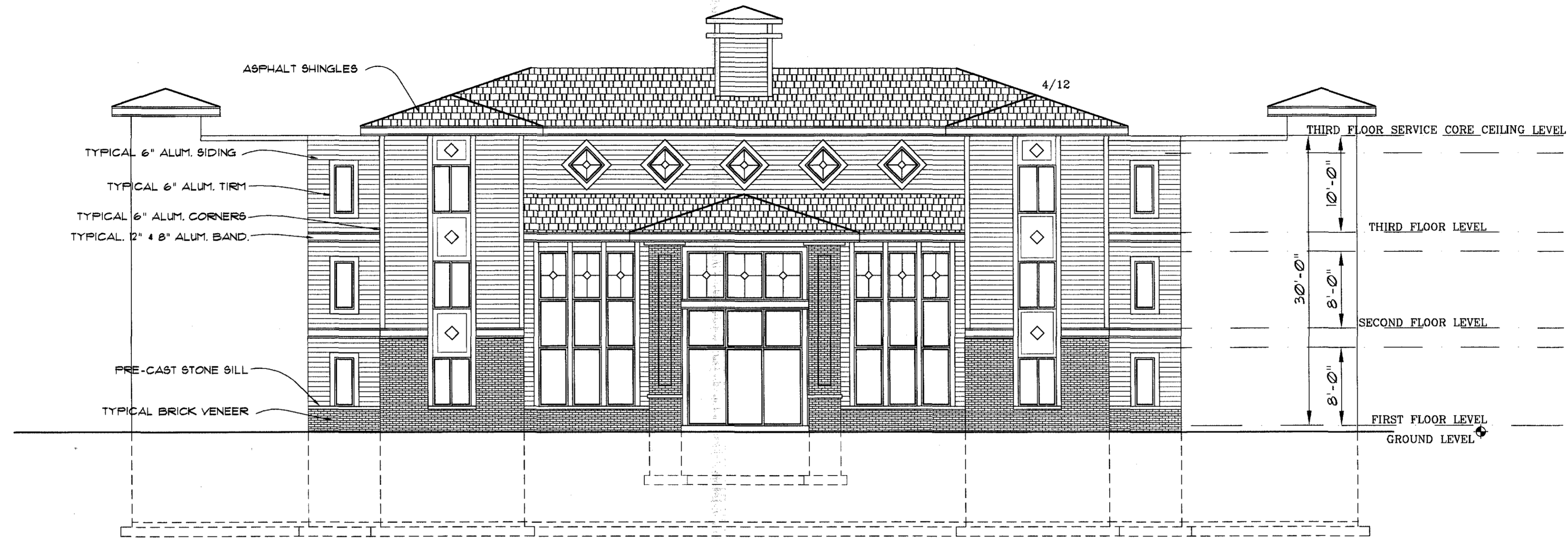


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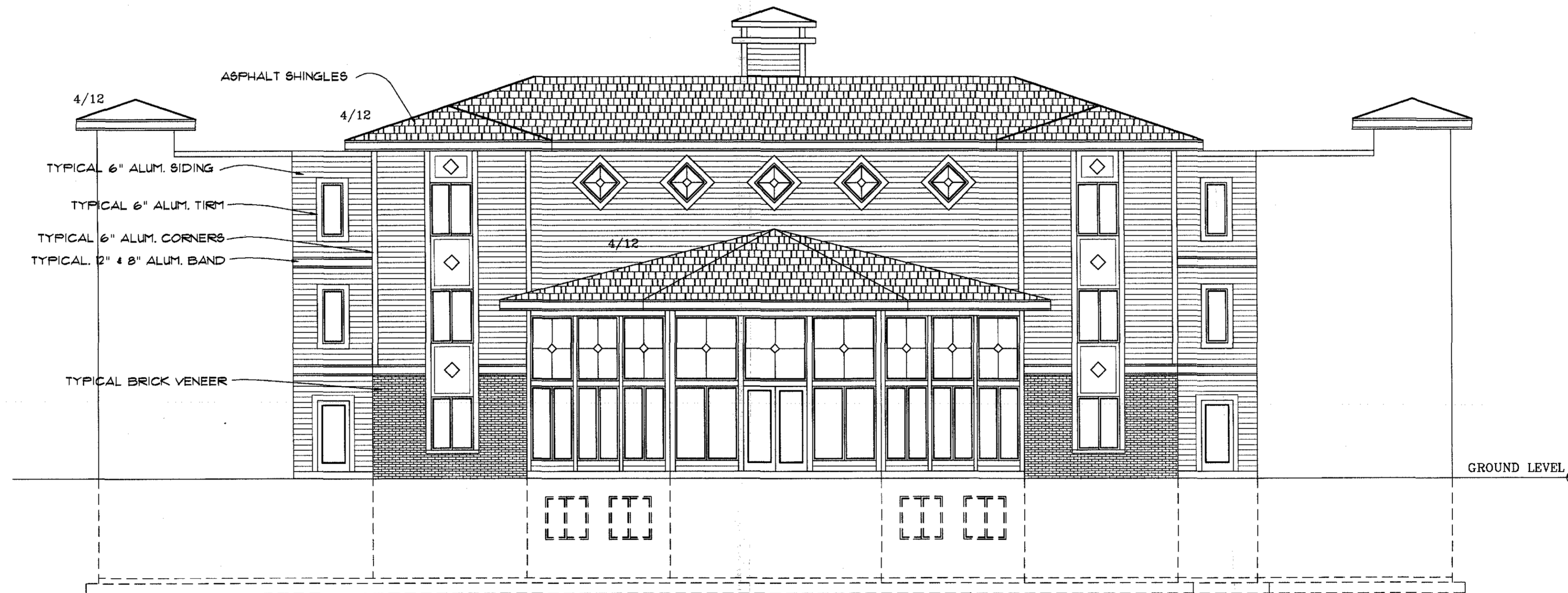
OFFICE 414-790-6000
FAX 414-790-6010
E-MAIL vkdc@exccp.com

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FRONT ELEVATION



BACK ELEVATION

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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

COMMONS AREA
EXTERIOR ELEVATIONS

DATE
7/10/98

JOB NUMBER	DRAWN BY
	XXX

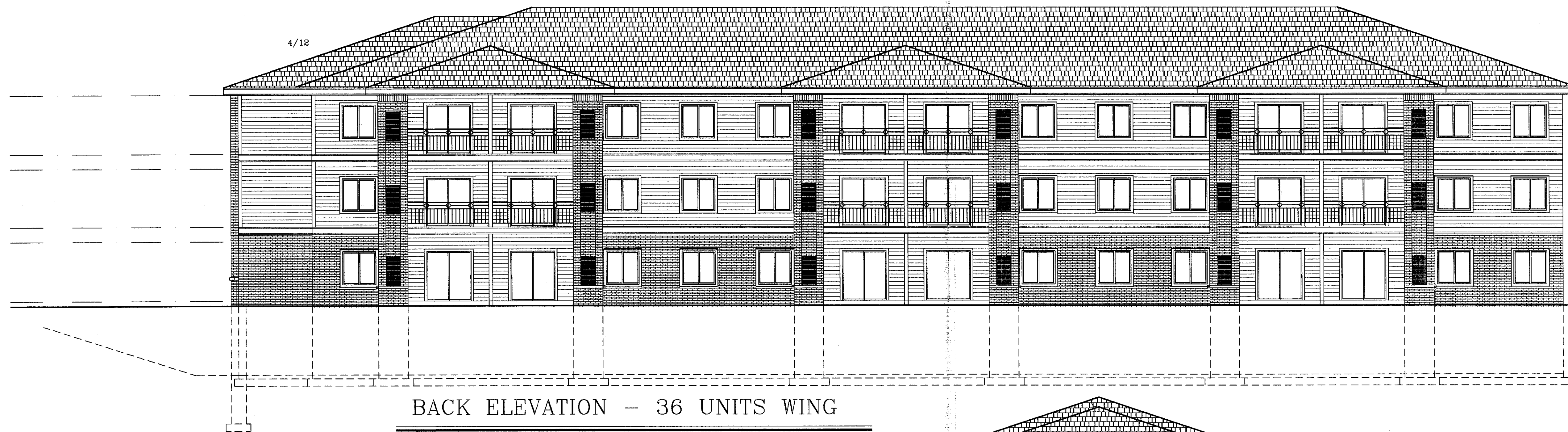
SCALE
1/8" = 1'-0"

SHEET

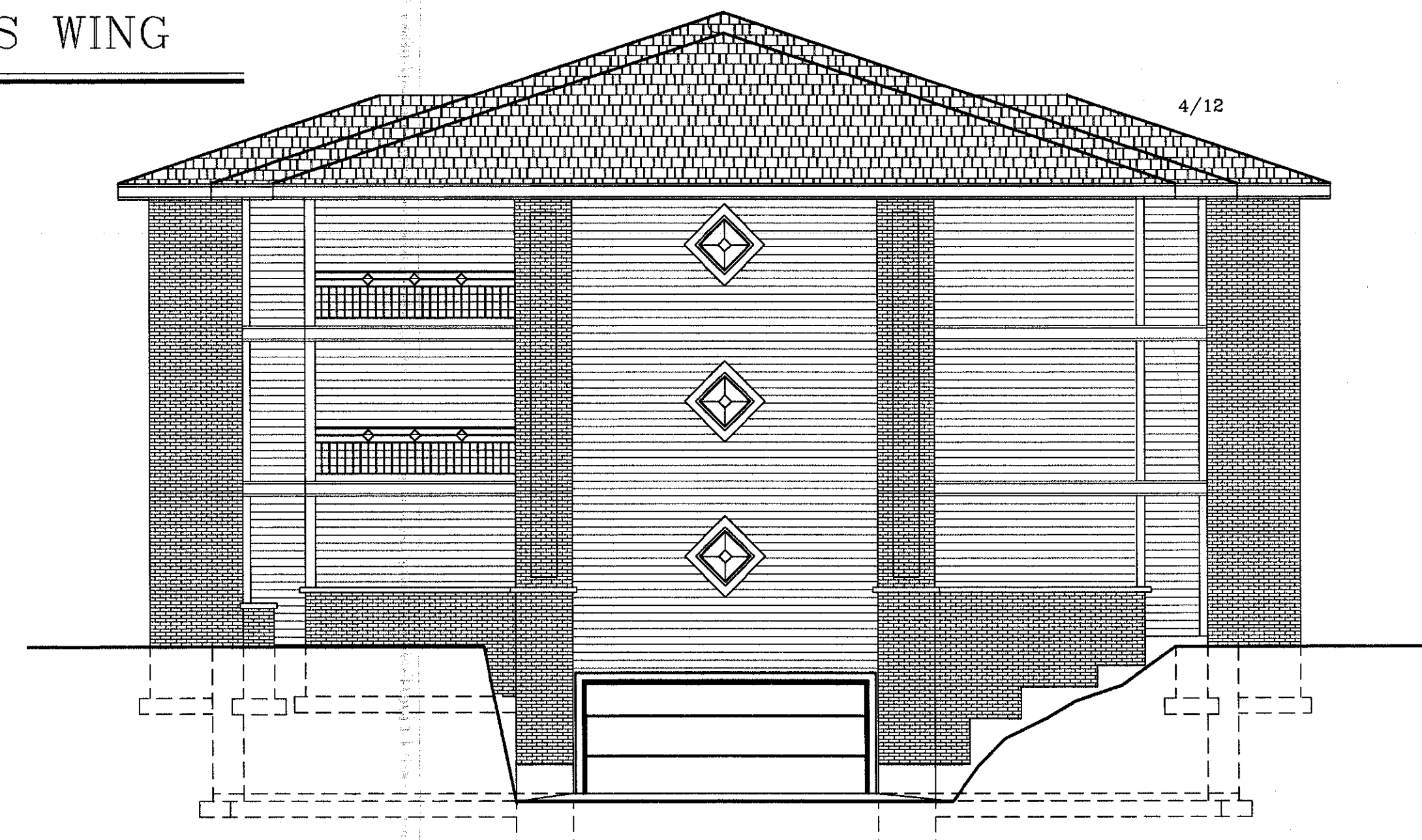
A22



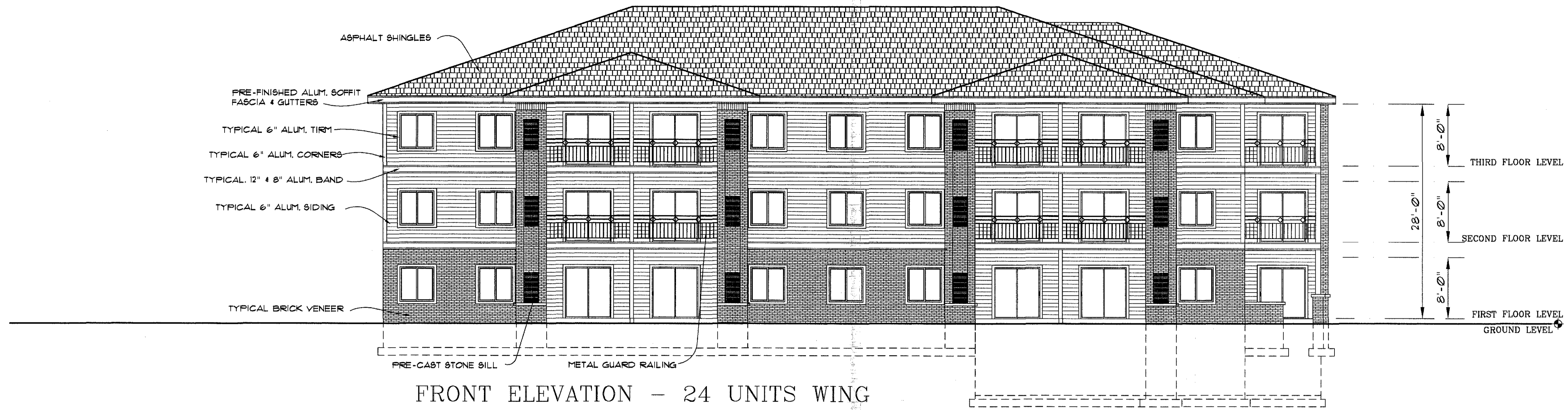
FRONT ELEVATION - 36 UNITS WING



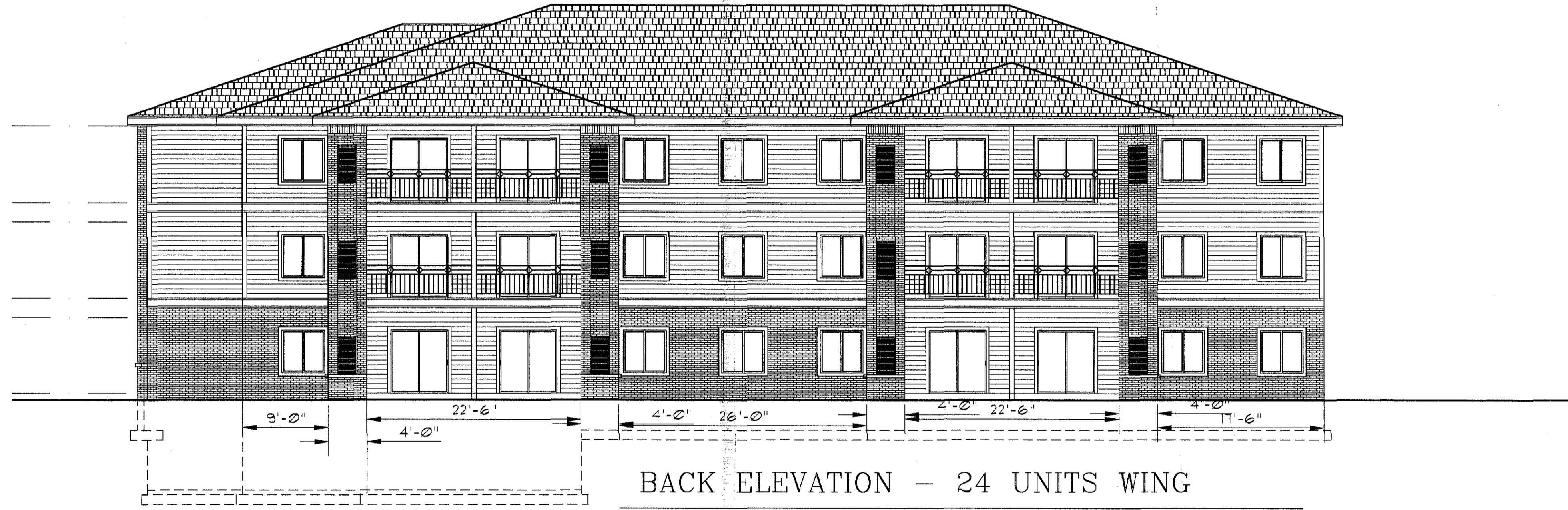
BACK ELEVATION - 36 UNITS WING



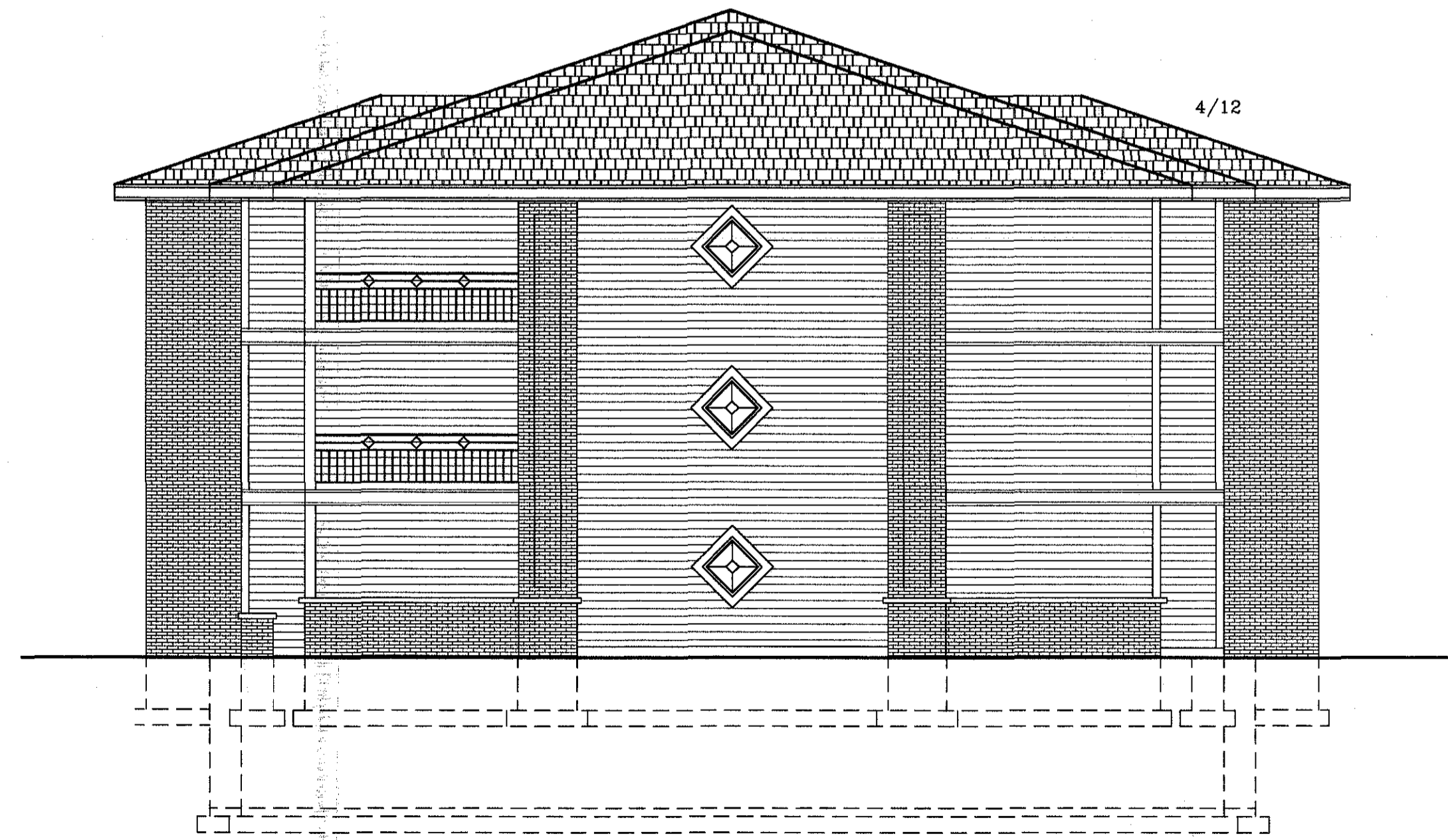
SIDE ELEVATION - 36 UNITS WING



FRONT ELEVATION - 24 UNITS WING



BACK ELEVATION - 24 UNITS WING



SIDE ELEVATION - 24 UNITS WING

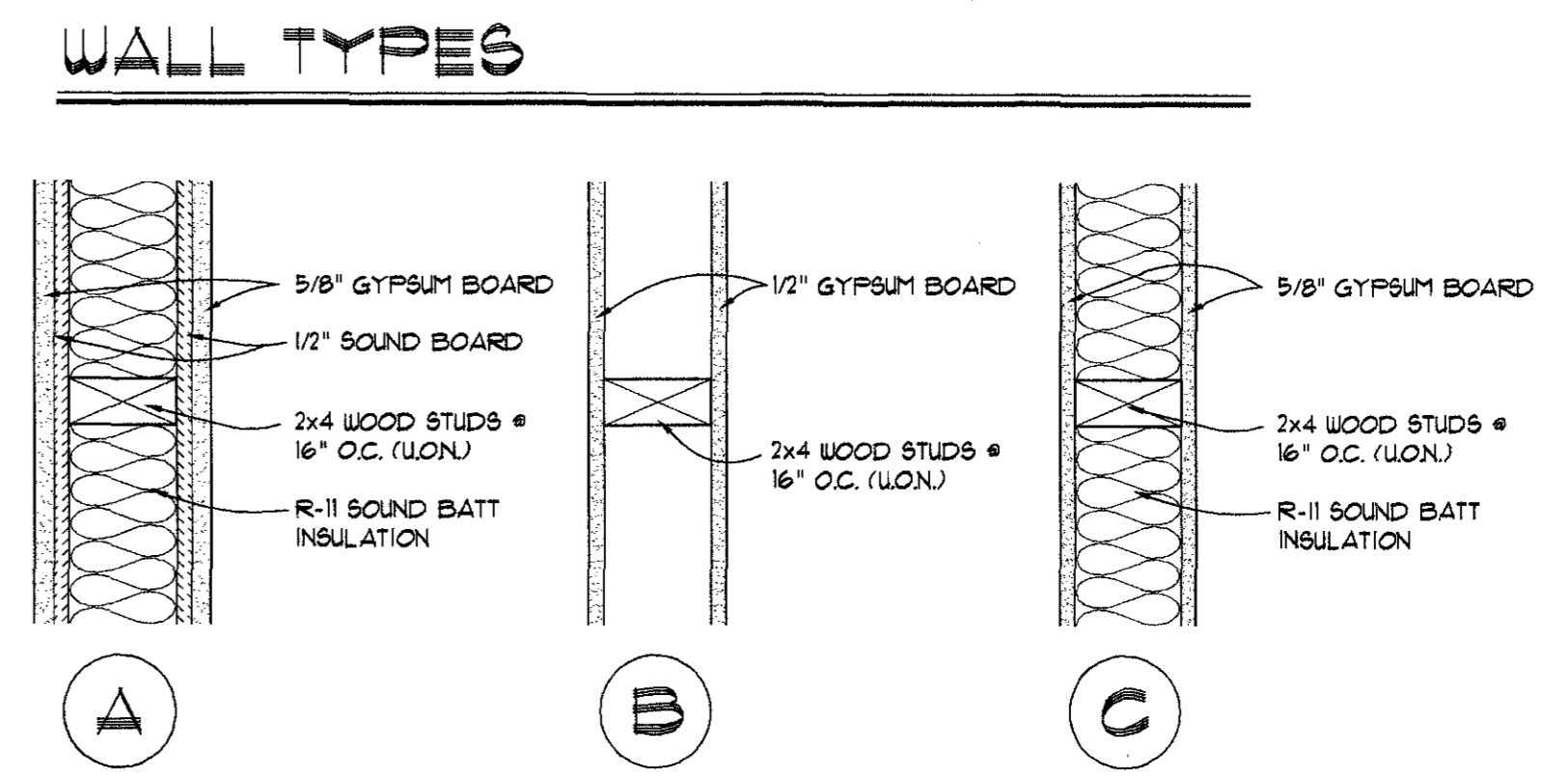
WINDOW SCHEDULE

V8: 4854 SLIDE-BY, 1" INSUL. GLASS, VINYL WINDOWS, 6'-0" x 6'-8" PATIO SEE PLAN FOR ACTIVE PANEL, VINYL, 1" INSUL. GLASS (TEMPERED)

V10: 6'-0" x 6'-8" PATIO SEE PLAN FOR ACTIVE PANEL, VINYL, 1" INSUL. GLASS (TEMPERED)

DOOR SCHEDULE

NUMBER	TYPE	MATL	SIZE	THICK	FINIS	UNDER CUT	RATING	HARDWARE	FRAME TYPE	FRAME MATL	FRAME FINISH	REMARKS
U-01	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	20 min	1	-	ALUM	PRE-FIN	-
U-02	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-03	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-04	A	WOOD	1'-8"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-05	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-06	A	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	-	4	-	WOOD	STAIN	-
U-07	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	5	-	WOOD	STAIN	-
U-08	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	20 min	1	-	ALUM	PRE-FIN	-
U-09	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-10	A	WOOD	2'-2'-0"x6'-8"	1-3/4"	STAIN	-	-	4	-	WOOD	STAIN	-
U-11	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-12	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-13	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-14	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-15	A	WOOD	2'-2'-6"x6'-8"	1-3/4"	STAIN	-	-	4	-	WOOD	STAIN	-
U-16	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	5	-	WOOD	STAIN	-



HARDWARE SETS

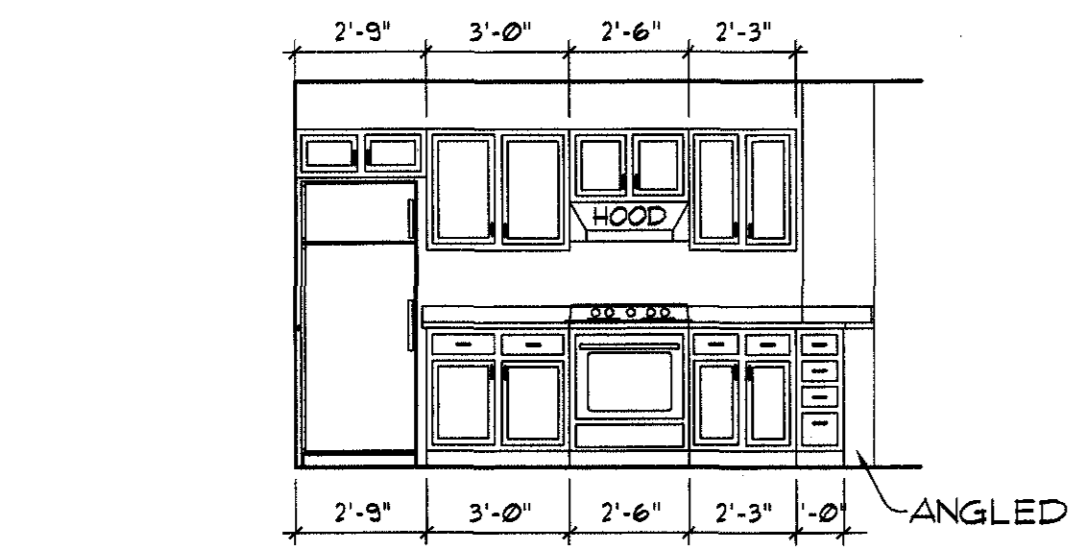
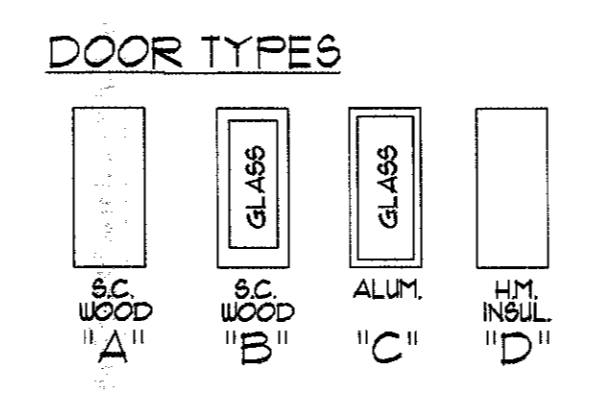
SET 1: 1-1/2 PAIR BUTTS ENTRY LOCKSET CLOSER PEEP HOLE STRIKE

SET 2: 1-1/2 PAIR BUTTS PASSAGE STRIKE

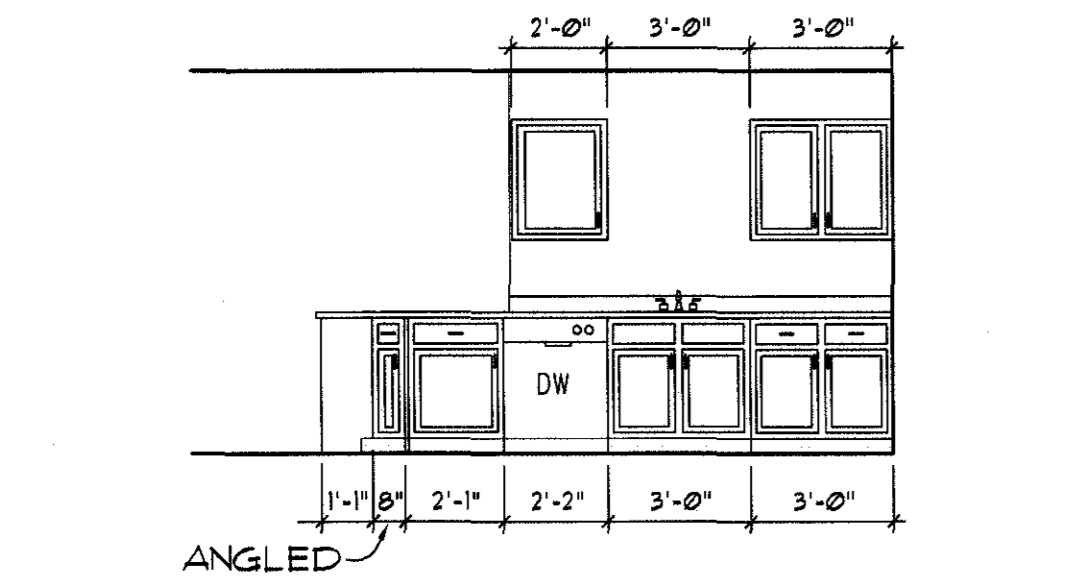
SET 3: 1-1/2 PAIR BUTTS PRIVACY STRIKE

SET 4: BI-PASS TRACK ASYM. FULLS

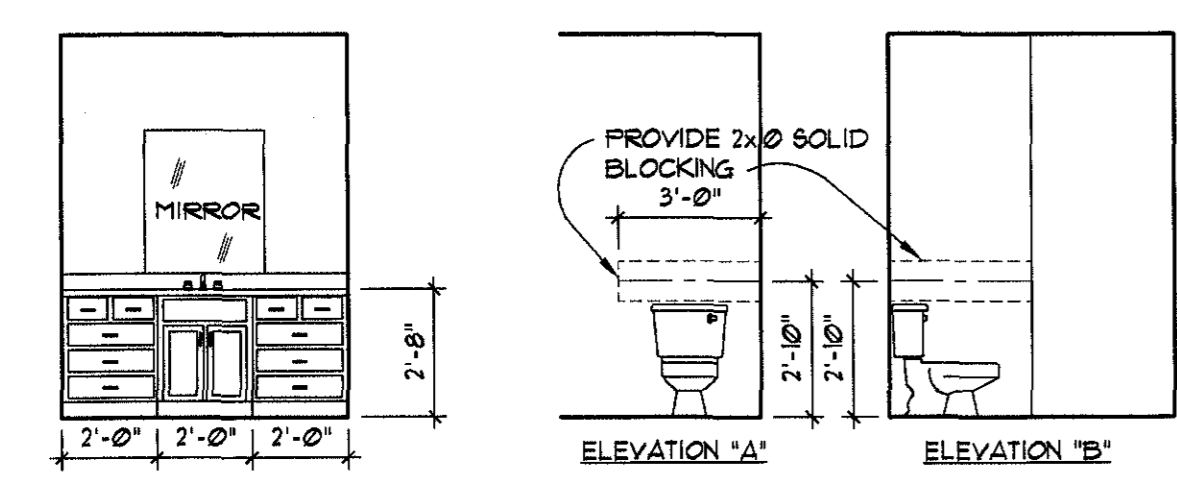
SET 5: 1-1/2 PAIR BUTTS STOR. LOCKSET STRIKE



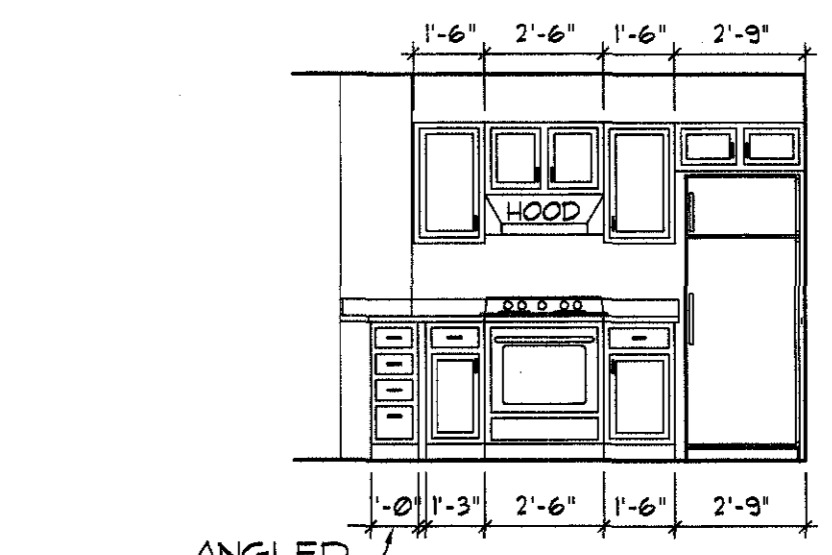
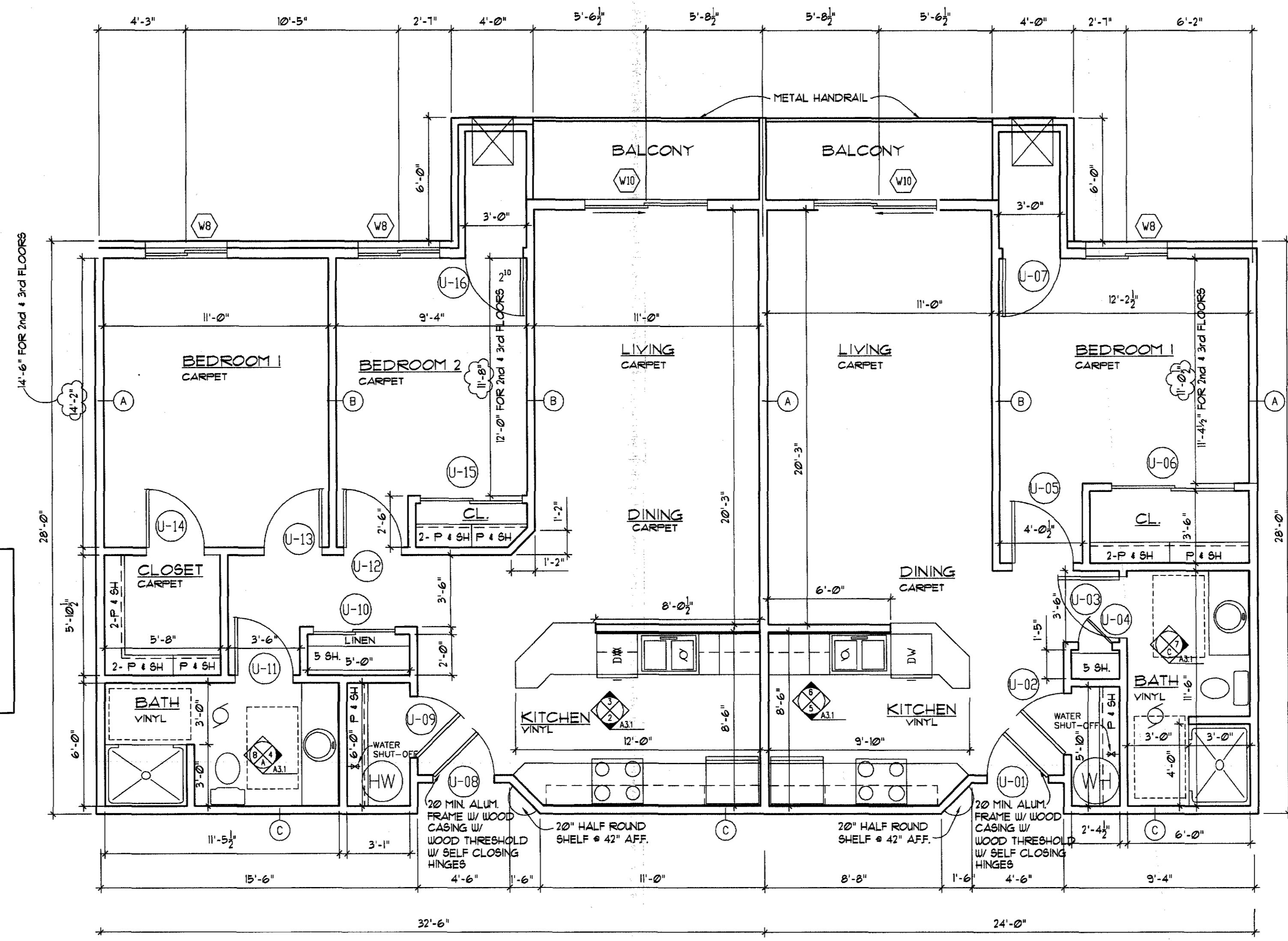
KITCHEN 2 BEDROOM
1/4" = 1'-0"



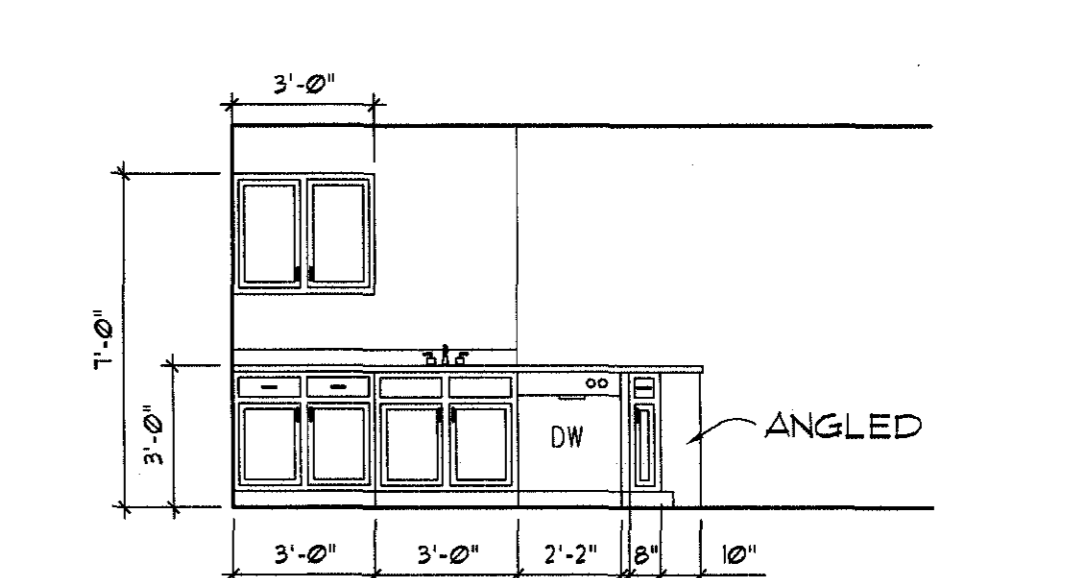
KITCHEN 2 BEDROOM
1/4" = 1'-0"



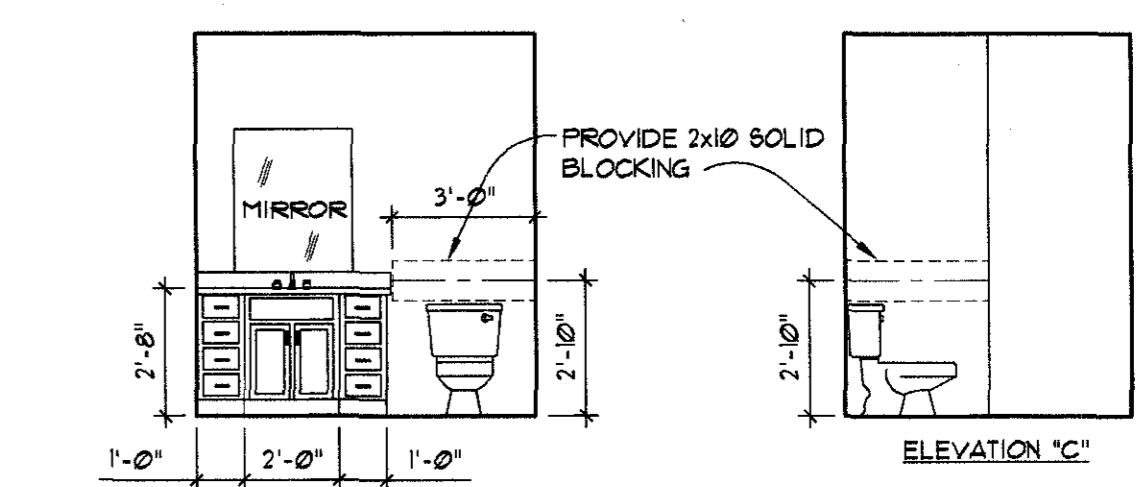
BATH 2 BEDROOM
1/4" = 1'-0"



KITCHEN 1 BEDROOM
1/4" = 1'-0"



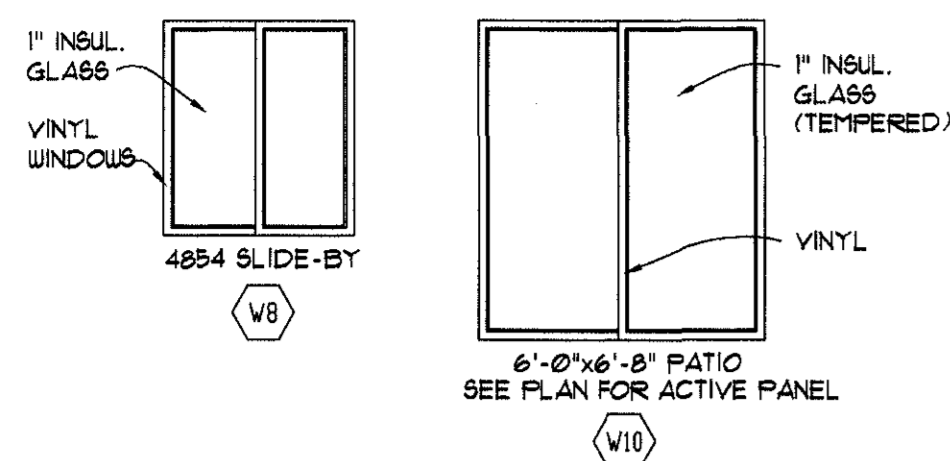
KITCHEN 1 BEDROOM
1/4" = 1'-0"



BATH 1 BEDROOM
1/4" = 1'-0"

TYPICAL UNIT PLANS
1/4" = 1'-0"

WINDOW SCHEDULE



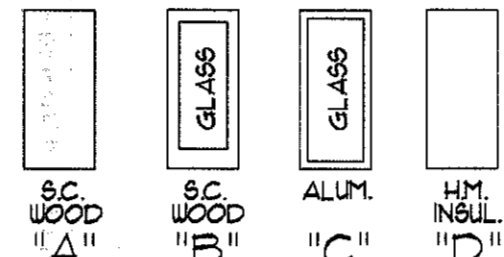
DOOR SCHEDULE

NUMBER	TYPE	MATL	SIZE	THICK	FINIS	UNDER CUT	RATING	HARDWARE	FRAME TYPE	FRAME MATL	FRAME FINISH	REMARKS
U-01	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	20 min	1	-	ALUM	PRE-FIN	-
U-02	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-03	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-04	A	WOOD	1'-8"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-05	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-06	A	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	-	4	-	WOOD	STAIN	-
U-07	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	5	-	WOOD	STAIN	-
U-08	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	20 min	1	-	ALUM	PRE-FIN	-
U-09	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-10	A	WOOD	2'-2'-0"x6'-8"	1-3/4"	STAIN	-	-	4	-	WOOD	STAIN	-
U-11	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-12	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-13	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	3	-	WOOD	STAIN	-
U-14	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	-	2	-	WOOD	STAIN	-
U-15	A	WOOD	2'-2'-6"x6'-8"	1-3/4"	STAIN	-	-	4	-	WOOD	STAIN	-
U-16	A	WOOD	2'-10"x6'-8"	1-3/4"	STAIN	-	-	5	-	WOOD	STAIN	-

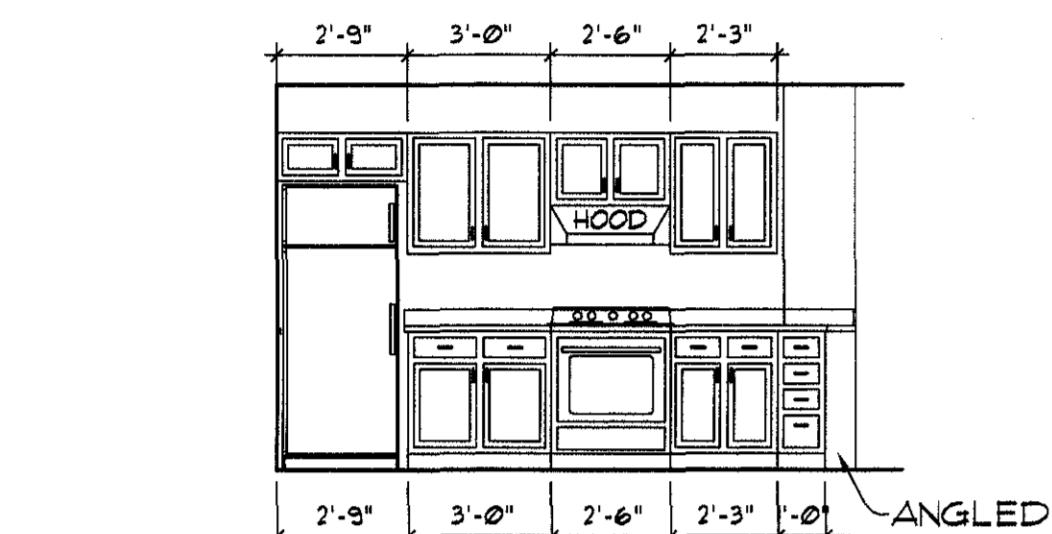
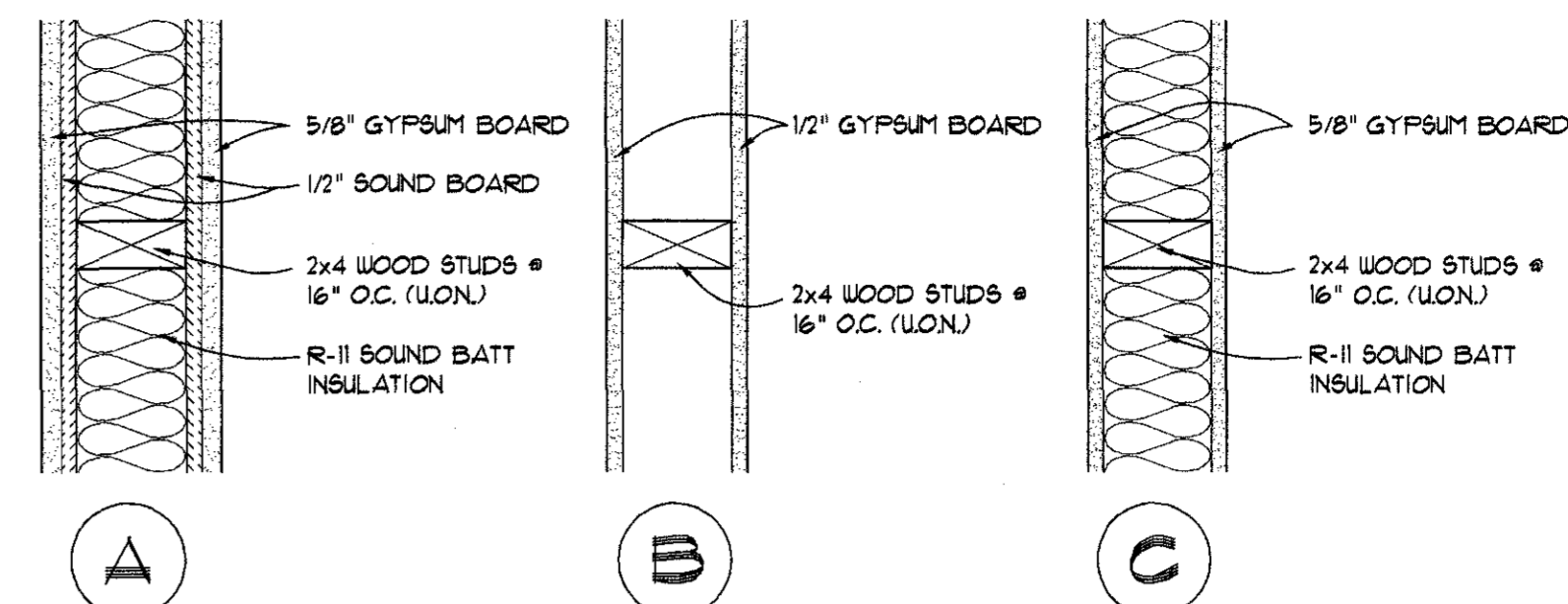
HARDWARE SETS

- SET 1: 1-1/2 PAIR BUTTS ENTRY LOCKSET CLOSER FEED HOLE STRIKE
- SET 2: 1-1/2 PAIR BUTTS PASSAGE STRIKE
- SET 3: 1-1/2 PAIR BUTTS PRIVACY STRIKE
- SET 4: BI-PASS TRACK ASYM. FULLS
- SET 5: 1-1/2 PAIR BUTTS STORE LOCKSET STRIKE

DOOR TYPES

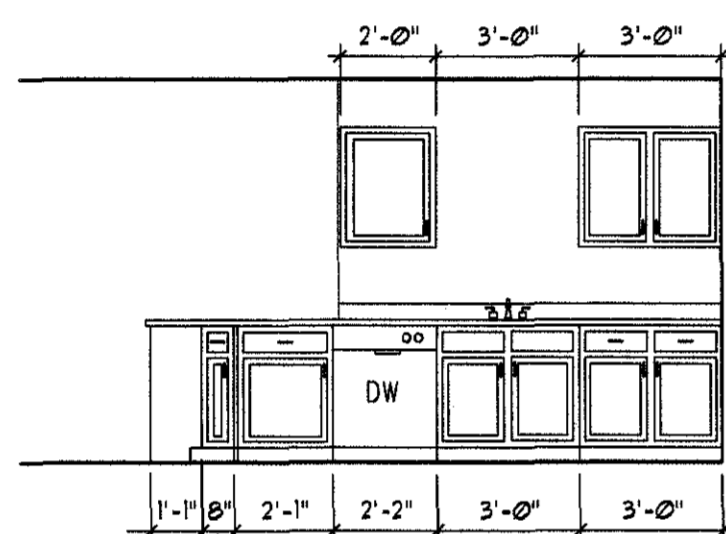


WALL TYPES



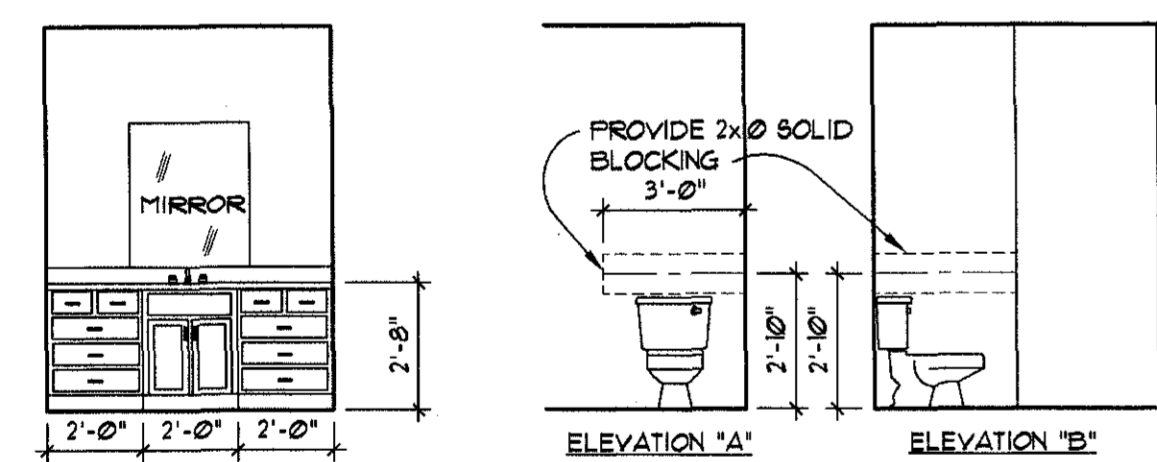
KITCHEN 2 BEDROOM

1/4" = 1'-0"



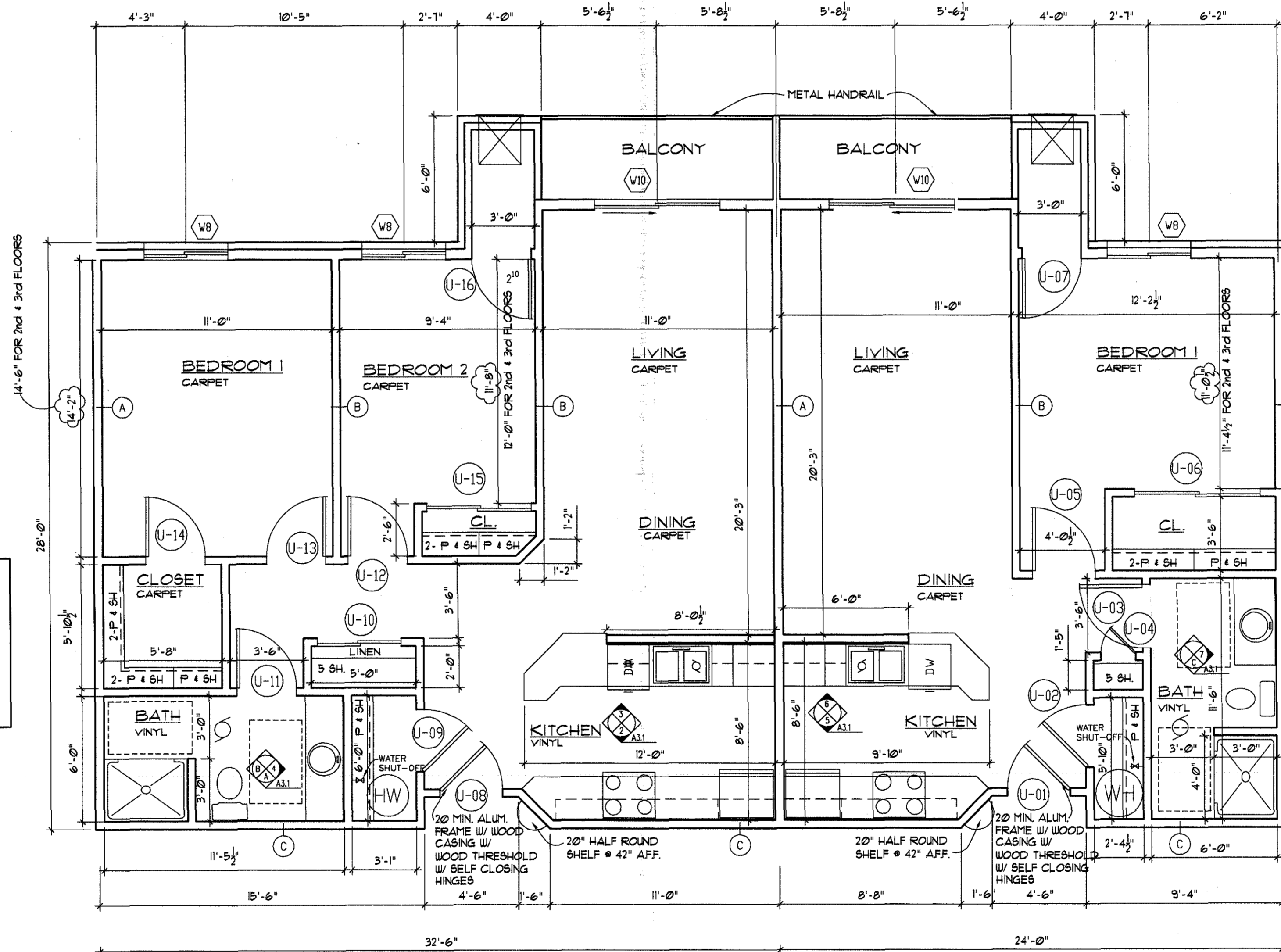
KITCHEN 2 BEDROOM

1/4" = 1'-0"



BATH 2 BEDROOM

1/4" = 1'-0"



2 BEDROOM - 1 BATH (approx. 925 sqft)

UNIT A - FLOOR PLAN

1/4" = 1'-0"

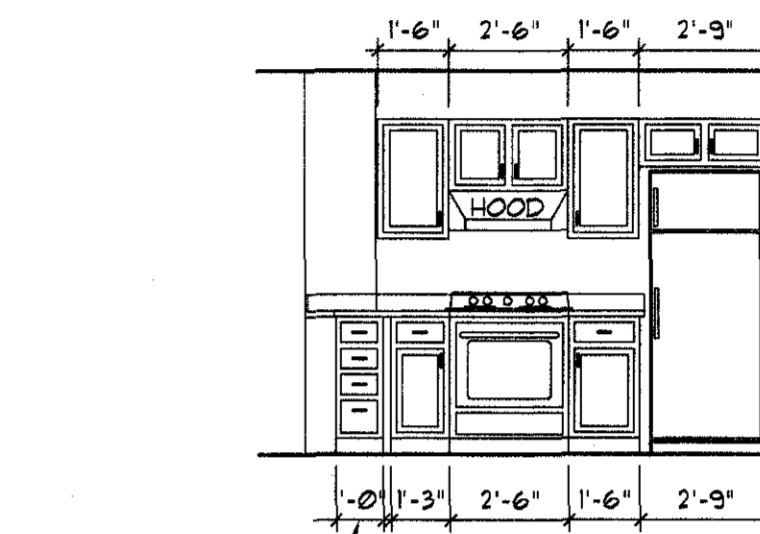
1 BEDROOM - 1 BATH (approx. 683 sqft)

UNIT B - FLOOR PLAN

1/4" = 1'-0"

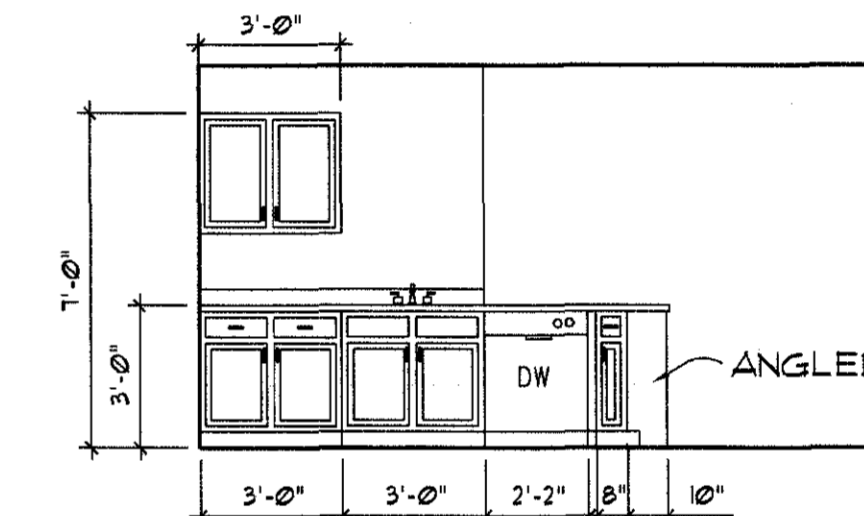
TYPICAL UNIT PLANS

1/4" = 1'-0"



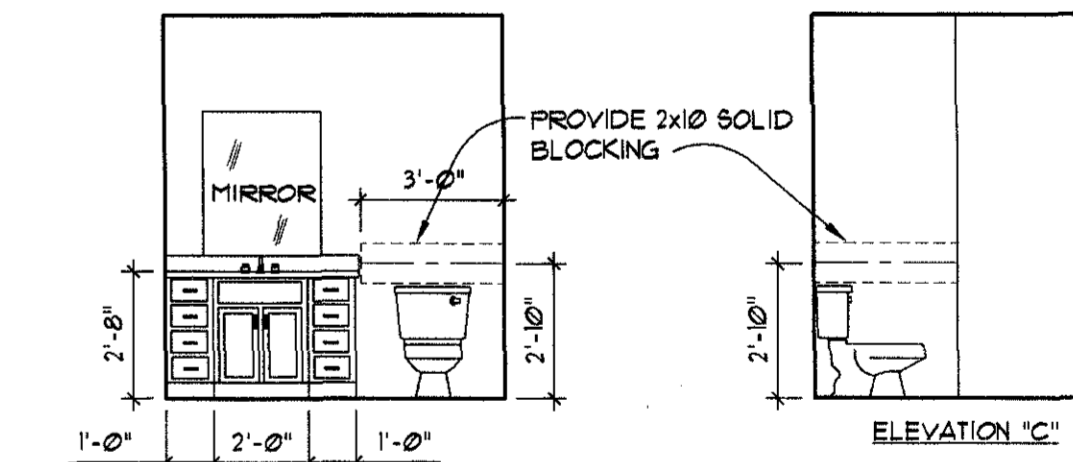
KITCHEN 1 BEDROOM

1/4" = 1'-0"



KITCHEN 1 BEDROOM

1/4" = 1'-0"



BATH 1 BEDROOM

1/4" = 1'-0"



19275 W. CAPITOL DR.
BROOKFIELD, WI
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OFFICE 414-790-6000
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VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS
10/16/98 - REVISED
11/14/98 - REVISED

LOSEE & ASSOCIATES, INC.

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PROJECT

PRAIRIE RIDGE SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

TYPICAL UNIT PLANS

DATE
7/10/98

JOB NUMBER
DRAWN BY
RSL/BJK

SCALE
1/4" = 1'-0"

SHEET

A3.1

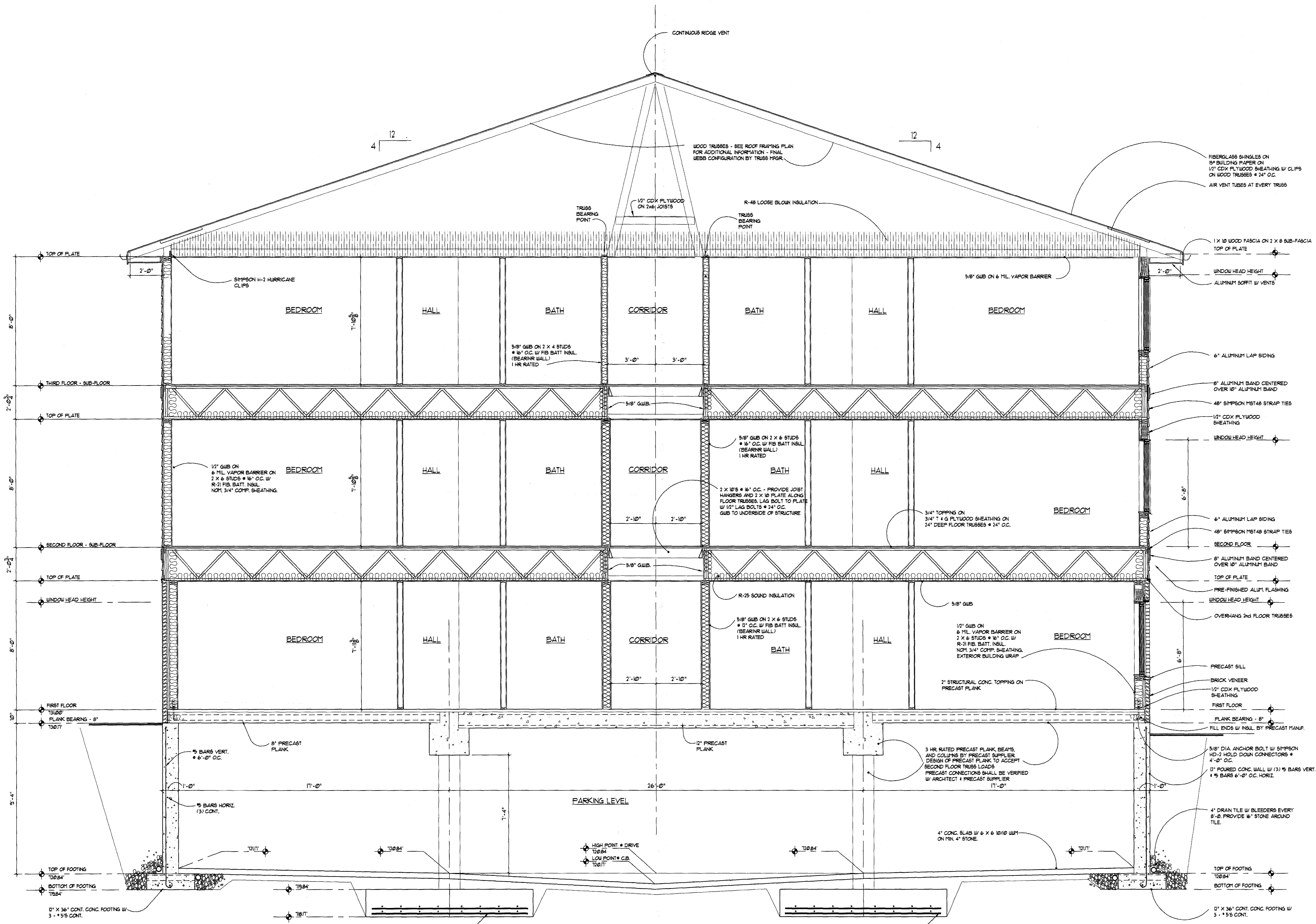


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VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS
10/26/98 - REVISED
11/14/98 - REVISED



BUILDING SECTION

3/8" = 1'-0"

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PROJECT
PRAIRIE RIDGE SENIOR CAMPUS

PLEASANT PRAIRIE, WI

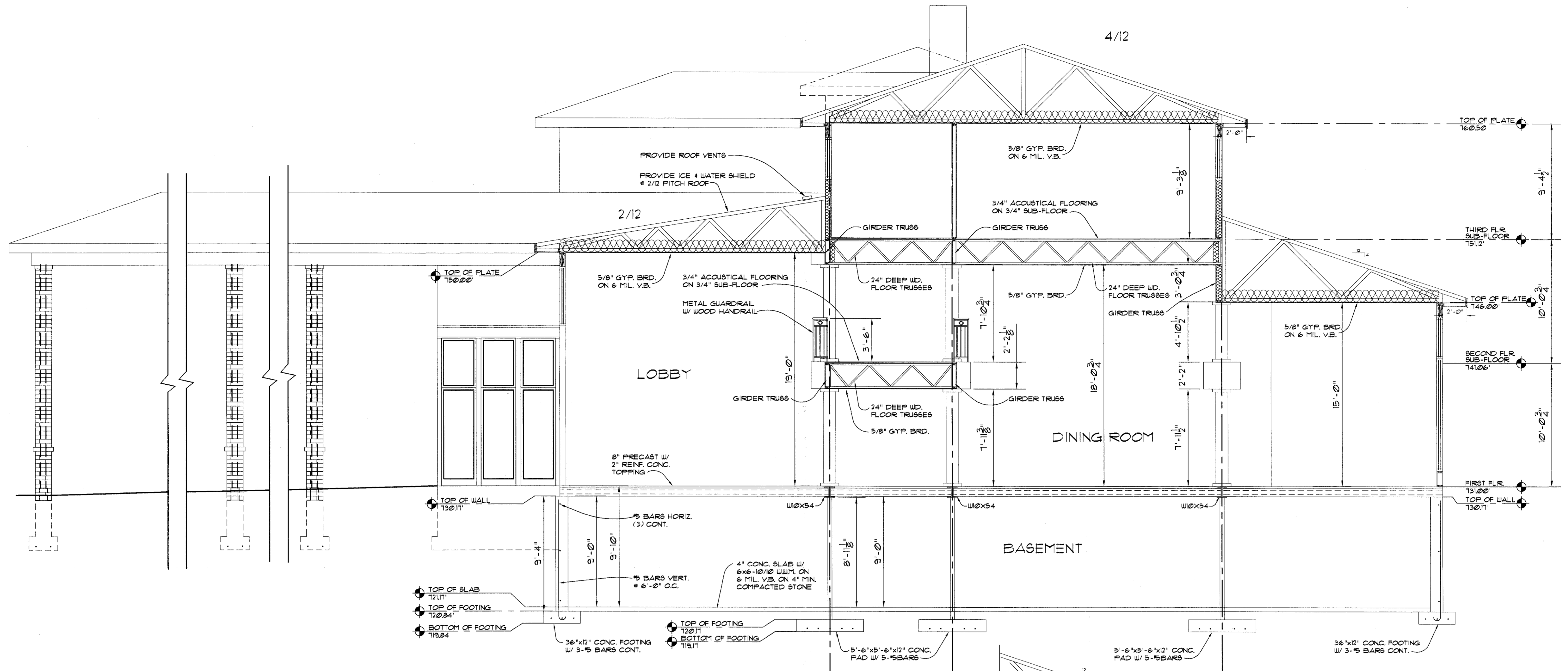
SHEET TITLE
BUILDING SECTION

DATE
7/10/98

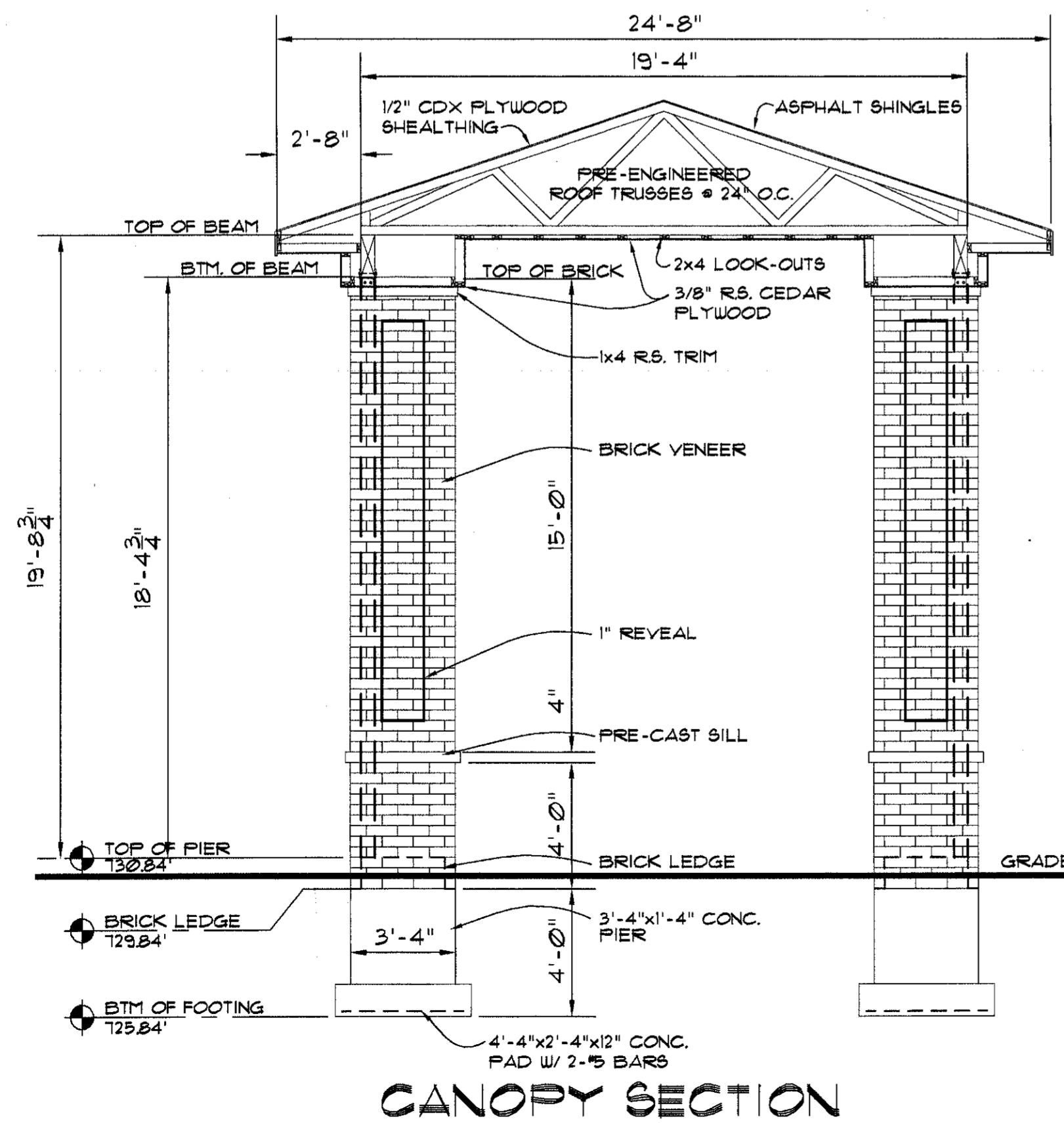
JOB NUMBER
DRAWN BY
B.K

SCALE
3/8" = 1'-0"

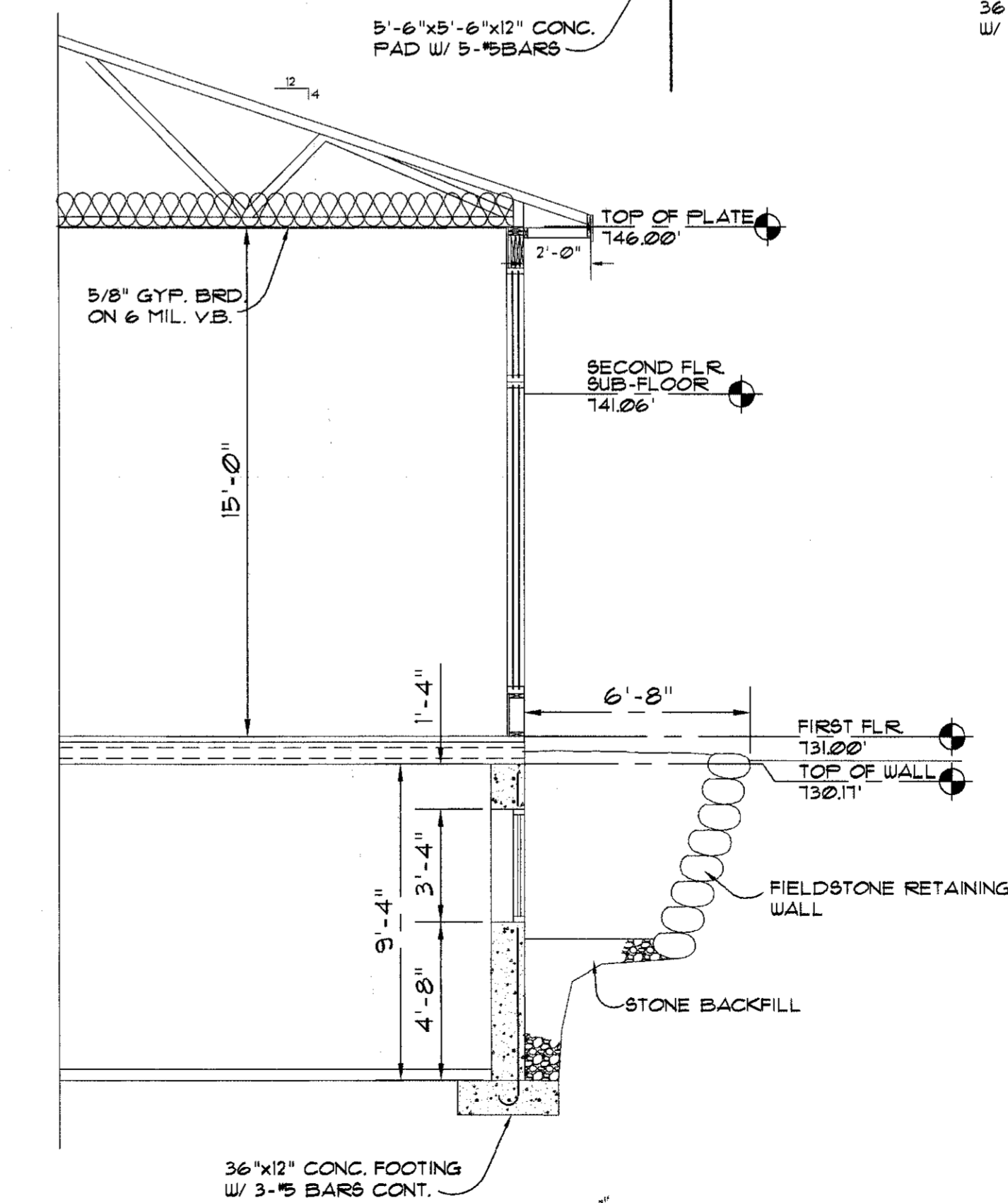
SHEET
A32



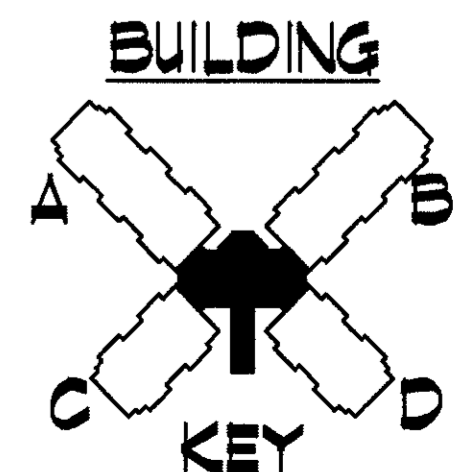
CROSS SECTION



CANOPY SECTION



SECTION @ AREA WELL



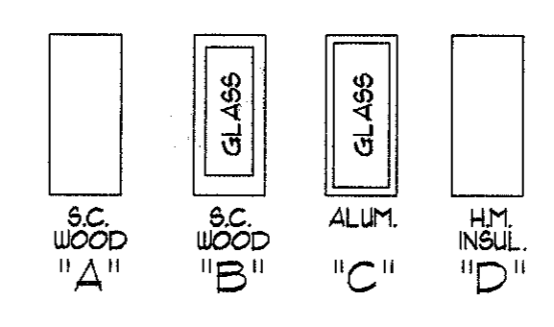
DOOR SCHEDULE

NUMBER	TYPE	MATL	SIZE	THICK	FINIS	UNDER CUT	RATING	HARDWARE	FRAME TYPE	FRAME MATL	FRAME FINISH	REMARKS
002.1	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
002.2	A	WOOD	2'-2"-6"x6'-8"	1-3/4"	STAIN	-	13	-	WOOD	WOOD	STAIN	-
003.1	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
003.2	A	WOOD	2'-2"-6"x6'-8"	1-3/4"	STAIN	-	13	-	WOOD	WOOD	STAIN	-
004.1	B	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
005.1	B	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
006.1	B	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
007.1	B	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
007.2	B	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
008.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	7	-	WOOD	WOOD	STAIN	-
009.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	7	-	WOOD	WOOD	STAIN	-
010.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
011.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
012.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	12	B	H.M.	H.M.	PAINT	-
013.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
014.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
015.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	12	B	H.M.	H.M.	PAINT	-
016.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
017.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	12	B	H.M.	H.M.	PAINT	-
018.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	12	B	H.M.	H.M.	PAINT	-
019.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
020.1	A	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	5	B	H.M.	H.M.	PAINT	-
021.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
022.1	A	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	5	B	H.M.	H.M.	PAINT	-
023.1	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	10	B	H.M.	H.M.	PAINT	-
023.2	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
024.1	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	10	B	H.M.	H.M.	PAINT	-
024.2	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
100.1	C	ALUM.	3'-3'-0"x6'-8"	-	ANOD.	-	-	BY MANUF	ALUM.	ALUM.	ANOD. ALUM.	-
101.1	C	ALUM.	3'-3'-0"x6'-8"	-	ANOD.	-	-	BY MANUF	ALUM.	ALUM.	ANOD. ALUM.	-
102.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
103.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	7	-	WOOD	WOOD	STAIN	-
104.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	7	-	WOOD	WOOD	STAIN	-
105.1	B	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
106.1	B	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
107.1	A	WOOD	2'-3'-6"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
107.2	A	WOOD	2'-3'-6"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
108.1	B	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
108.2	B	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
108.3	C	ALUM.	2'-3'-0"x6'-8"	1-3/4"	ANOD.	-	11	D	ALUM.	ALUM.	ANOD. ALUM.	-
109.1	B	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
109.2	A	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	9	-	WOOD	WOOD	STAIN	-
110.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	6	-	WOOD	WOOD	STAIN	-
110.2	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
111.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
111.2	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
112.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
112.2	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
113.1	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
113.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	A	ALUM.	ALUM.	ANOD. ALUM.	-
114.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
115.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
116.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
117.1	D	H.M.	3'-0"x6'-8"	1-3/4"	PAINT	-	8	B	H.M.	H.M.	PAINT	-
117.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	A	ALUM.	ALUM.	ANOD. ALUM.	-
118.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
119.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
120.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
121.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
121.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD. ALUM.	-
122.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
122.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD. ALUM.	-
123.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
123.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD. ALUM.	-
124.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
124.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD. ALUM.	-
200.1	A	WOOD	2'-3'-6"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
200.2	A	WOOD	2'-3'-6"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
201.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
202.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
203.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
204.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
205.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
206.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
207.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
207.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
208.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
208.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
209.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
209.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
210.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
210.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
300.1	A	WOOD	2'-3'-6"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
300.2	A	WOOD	2'-3'-6"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
301.1	B	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
301.2	B	WOOD	2'-3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
302.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
302.2	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
303.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
303.2	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	5	-	WOOD	WOOD	STAIN	-
304.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
305.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
306.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	2	-	WOOD	WOOD	STAIN	-
307.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
308.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
308.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
309.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
309.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
310.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
310.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-
311.1	A	WOOD	3'-0"x6'-8"	1-3/4"	STAIN	-	10	B	H.M.	H.M.	PAINT	-
311.2	C	ALUM.	3'-0"x6'-8"	1-3/4"	ANOD.	-	11	C	ALUM.	ALUM.	ANOD.	-

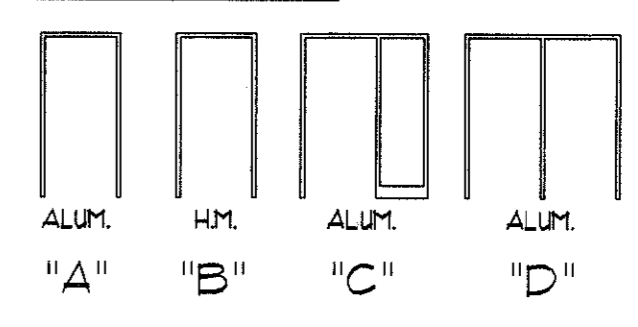
HARDWARE SCHEDULE

SET #1 1-1/2 PAIR BUTTS ENTRY LOCKSET SPRING HINGE STRIKE PEEP HOLE	SET #2 1-1/2 PAIR BUTTS PASSAGE STRIKE	SET #3 1-1/2 PAIR BUTTS PRIVACY STRIKE	SET #4 BI-PASS TRACK ASYMT. FULLS
SET #5 1-1/2 PAIR BUTTS STOR. LOCKSET STRIKE	SET #6 1-1/2 PAIR BUTTS OFFICE LOCKSET STRIKE CLOSER	SET #7 1-1/2 PAIR BUTTS PRIVACY STRIKE CLOSER	SET #8 1-1/2 PAIR BUTTS ENTRY LOCKSET STRIKE CLOSER
SET #9 POCKET DOOR ASYMT. FULLS	SET #10 1-1/2 PAIR BUTTS PASSAGE STRIKE CLOSER	SET #11 1-1/2 PAIR BUTTS PUSH/PULL DEAD BOLT STRIKE CLOSER	SET #12 1-1/2 PAIR BUTTS STOR. LOCKSET STRIKE CLOSER
SET #13 3 PAIR BUTTS STOR. LOCKSET STRIKE FLUSH BOLT			

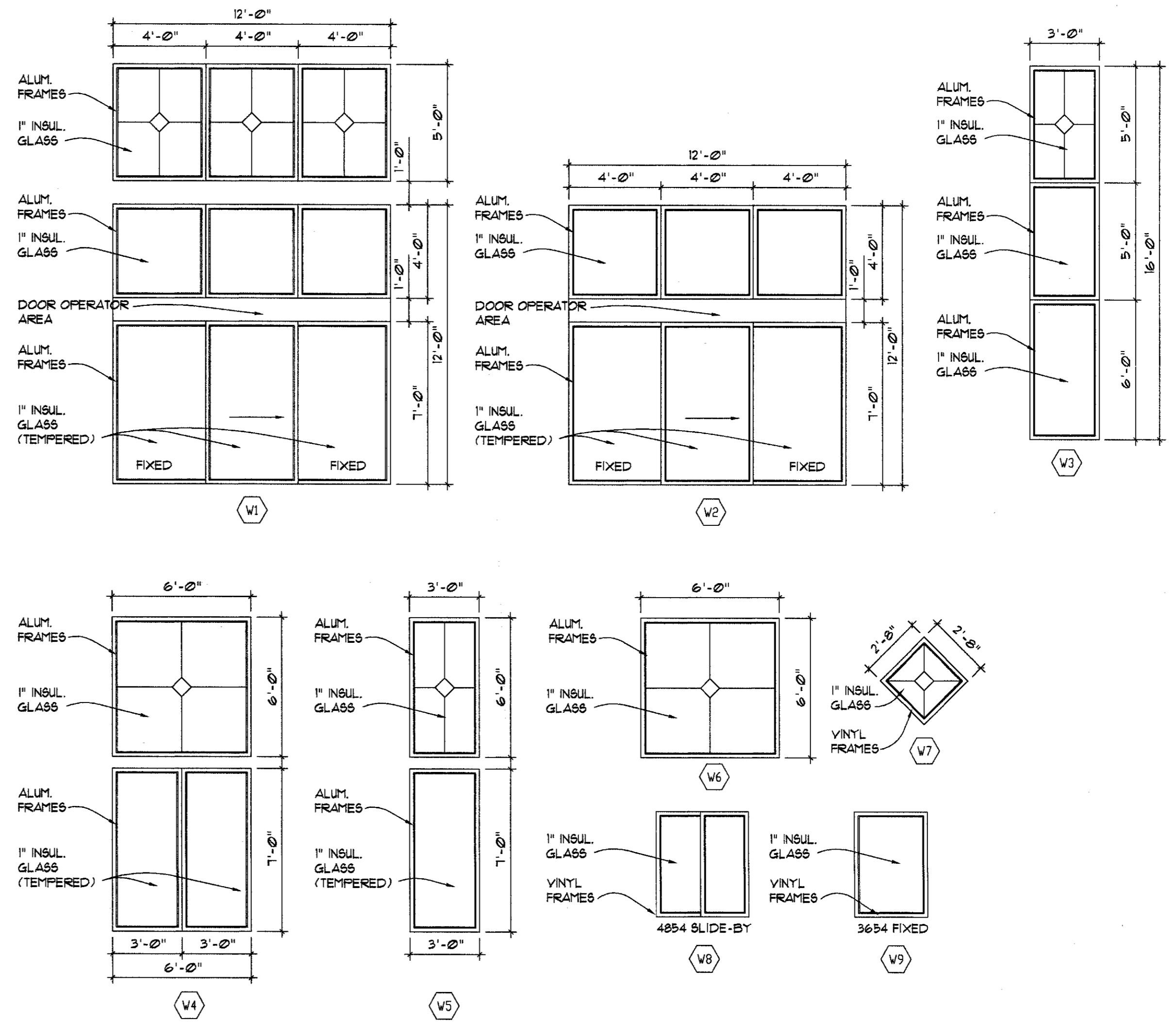
DOOR TYPES



FRAME TYPES



WINDOW TYPES



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REVISIONS

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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

DOOR SCHEDULE
& WINDOW TYPES

DATE
12/14/98

JOB NUMBER
DRAWN BY
RBL/BJK

SCALE
AS SHOWN

SHEET
A34

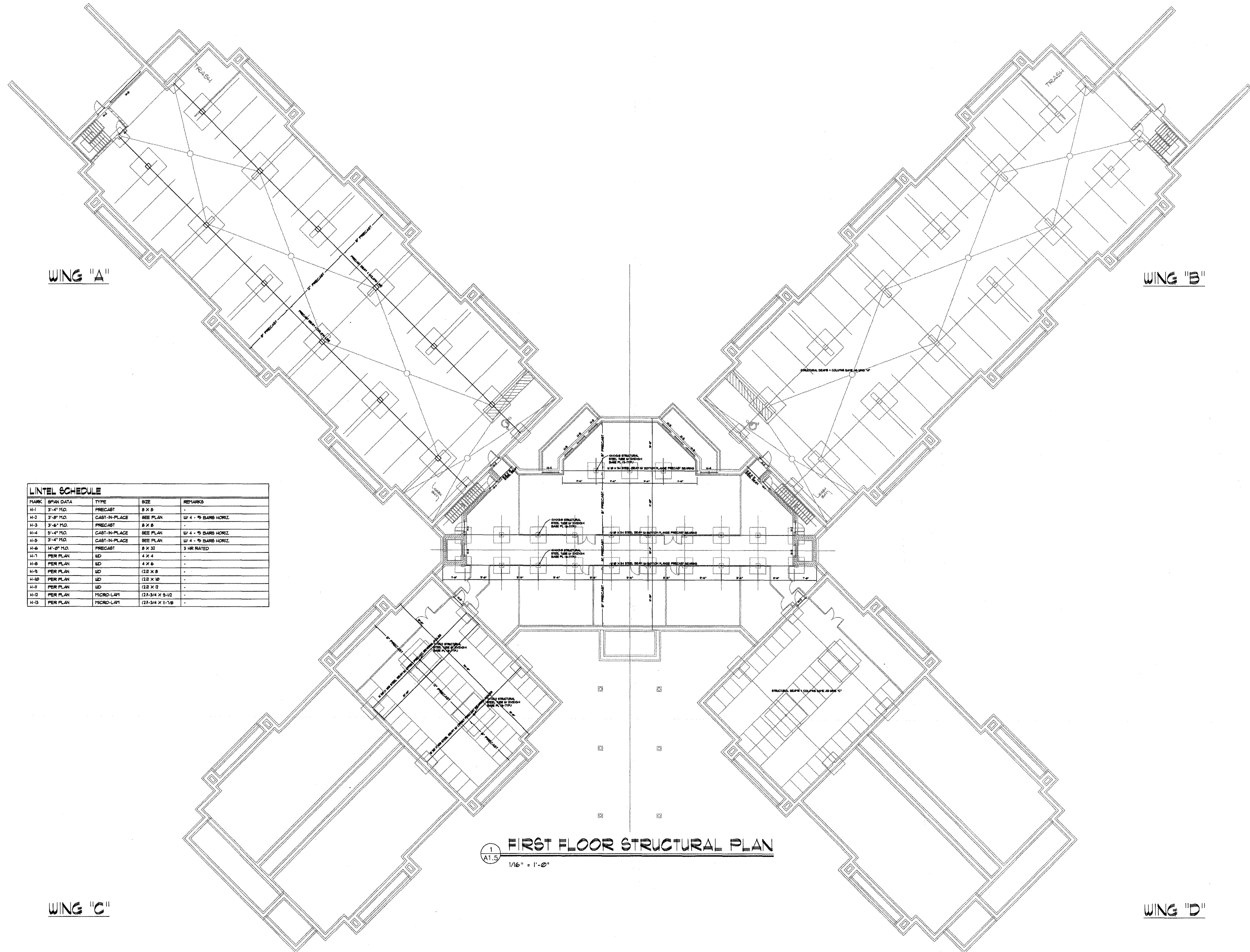


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VK REALTY, INC.

REVISIONS
07/14/98 - REVISED



MARK	SPAN DATA	TYPE	SIZE	REMARKS
H-1	3'-4\"	PRECAST	8' X 8'	-
H-2	3'-8\"	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-3	3'-6\"	PRECAST	8' X 8'	-
H-4	3'-4\"	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-5	3'-4\"	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-6	14'-0\"	PRECAST	8' X 32'	3 HR RATED
H-7	PER PLAN	UD	4' X 4'	-
H-8	PER PLAN	UD	4' X 8'	-
H-9	PER PLAN	UD	12' X 8'	-
H-10	PER PLAN	UD	12' X 10'	-
H-11	PER PLAN	UD	12' X 10'	-
H-12	PER PLAN	MICRO-LAM	12A-34 X 9-1/2	-
H-13	PER PLAN	MICRO-LAM	12A-34 X 11-7/8	-

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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

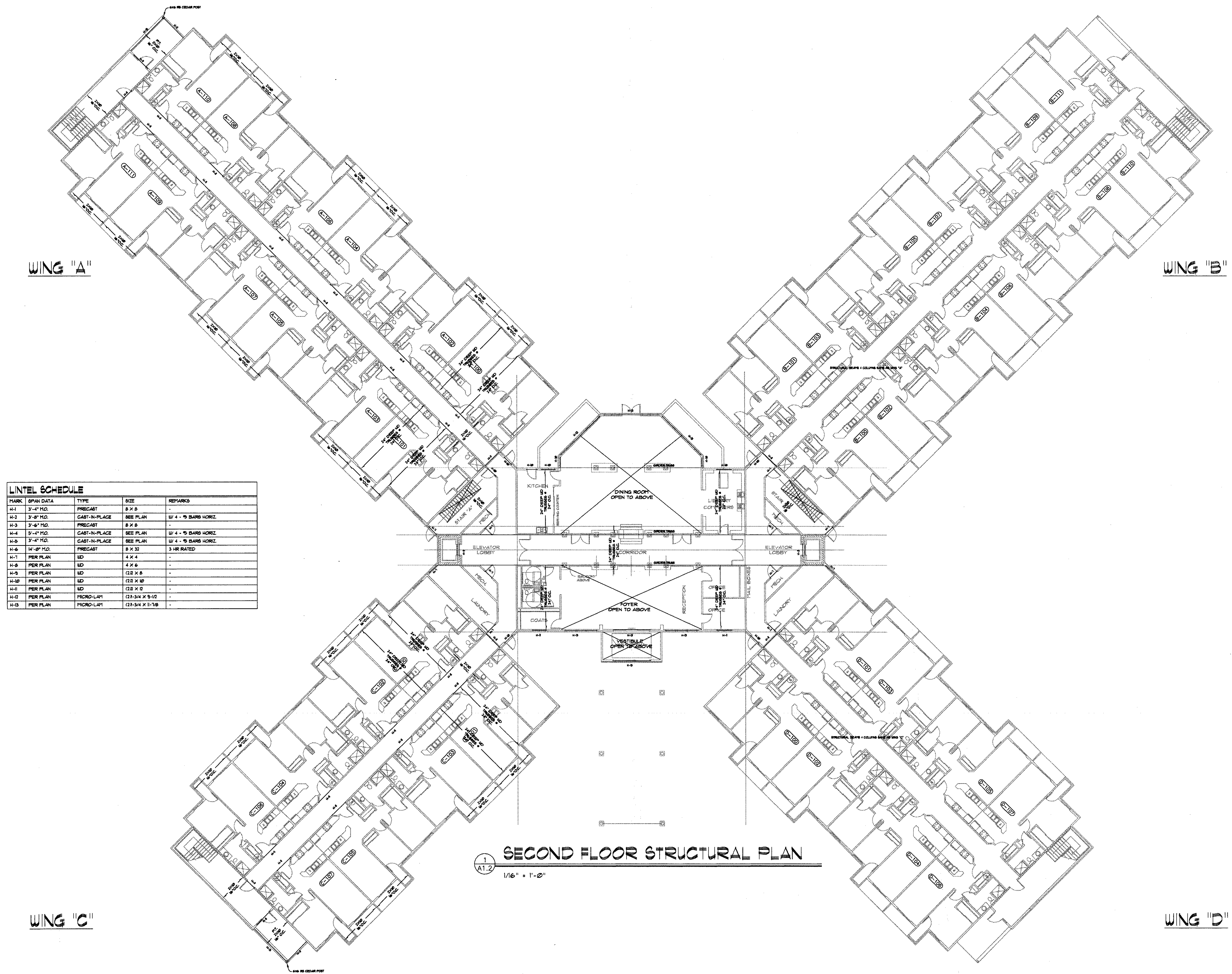
CAMPUS BASEMENT
PLAN STRUCTURAL

DATE
10/26/98

JOB NUMBER
DRAWN BY
RSL

SCALE
1/16\" = 1'-0\"

SHEET
S1.1



FRANK	SPAN DATA	TYPE	SIZE	REMARKS
M-1	3'-4" M.O.	PRECAST	8 X 8	-
M-2	3'-8" M.O.	CAST-IN-PLACE	SEE PLAN	W 4 x 8 BARS HORIZ
M-3	3'-8" M.O.	PRECAST	8 X 8	-
M-4	5'-4" M.O.	CAST-IN-PLACE	SEE PLAN	W 4 x 8 BARS HORIZ
M-5	3'-4" M.O.	CAST-IN-PLACE	SEE PLAN	W 4 x 8 BARS HORIZ
M-6	14'-0" M.O.	PRECAST	8 X 33	3 HR RATED
M-7	PER PLAN	SD	4 X 4	-
M-8	PER PLAN	SD	4 X 8	-
M-9	PER PLAN	SD	(12 X 8)	-
M-10	PER PLAN	SD	(12 X 10)	-
M-11	PER PLAN	SD	(12 X 10)	-
M-12	PER PLAN	MICRO-LAM	(24-3/4 X 9-1/2)	-
M-13	PER PLAN	MICRO-LAM	(24-3/4 X 9-1/8)	-

SECOND FLOOR STRUCTURAL PLAN
1/16" = 1'-0"

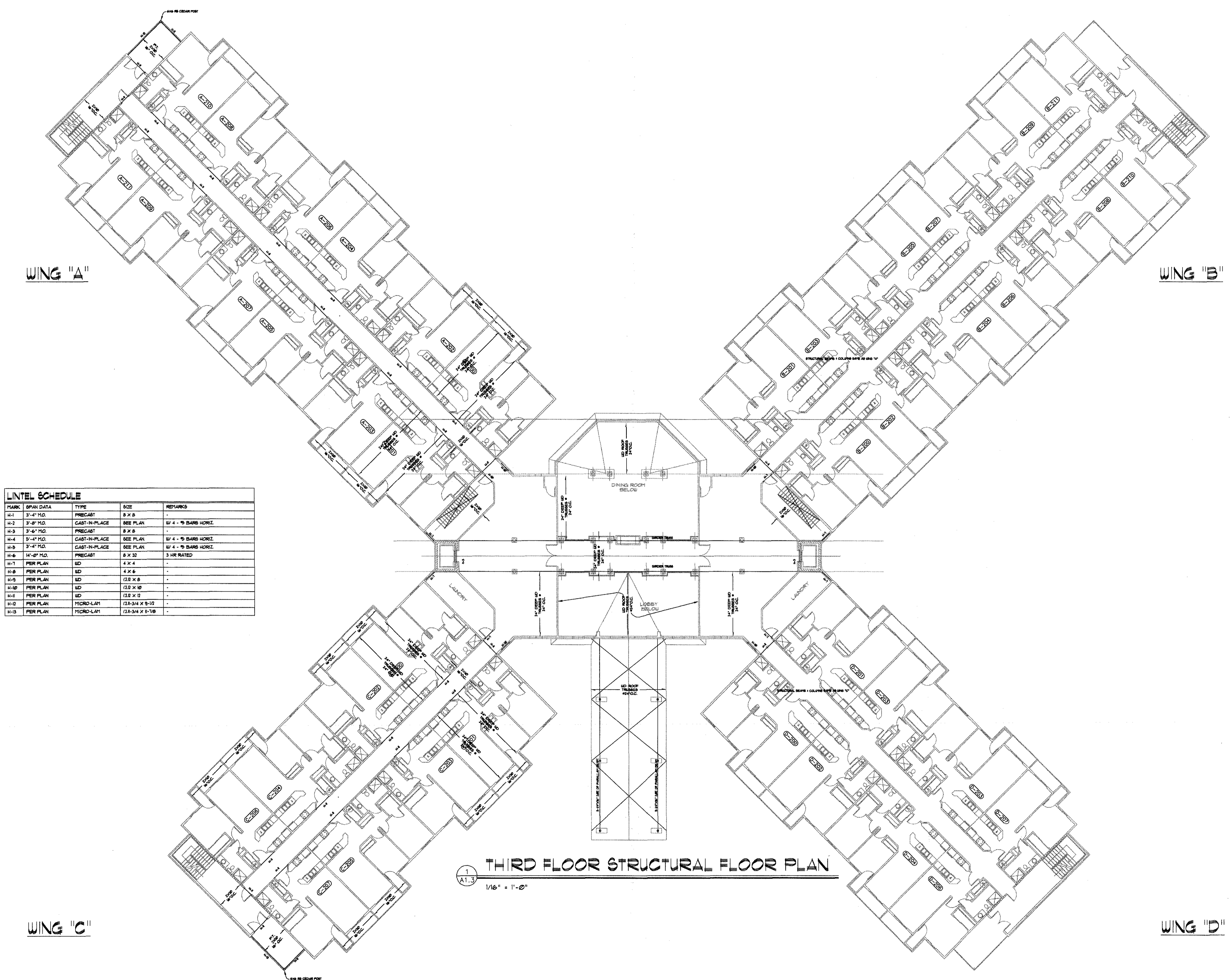


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BROOKFIELD, WI
53045

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E-MAIL vkdc@execpc.com

VK HOMES, INC.
VK DEVELOPMENT CORP.
VK BUILDERS, INC.
VK REALTY, INC.

REVISIONS
12/14/98 - REVISED



MARK	SPAN DATA	TYPE	SIZE	REMARKS
H-1	3'-4" H.O.	PRECAST	3 X 8	-
H-2	3'-6" H.O.	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-3	3'-6" H.O.	PRECAST	8 X 8	-
H-4	3'-4" H.O.	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-5	3'-4" H.O.	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-6	14'-0" H.O.	PRECAST	8 X 32	3 HR RATED
H-7	PER PLAN	SD	4 X 4	-
H-8	PER PLAN	SD	4 X 6	-
H-9	PER PLAN	SD	12 X 8	-
H-10	PER PLAN	SD	12 X 10	-
H-11	PER PLAN	SD	12 X 12	-
H-12	PER PLAN	MICRO-LAM	128-3/4 X 8-1/2	-
H-13	PER PLAN	MICRO-LAM	128-3/4 X 8-1/2	-

THIRD FLOOR STRUCTURAL FLOOR PLAN
1/16" = 1'-0"

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PROJECT
PRAIRIE RIDGE SENIOR CAMPUS

PLEASANT PRAIRIE, WI
SHEET TITLE

CAMPUS SECOND FLOOR STRUCTURAL

DATE
10/26/98

JOB NUMBER
DRAWN BY
RSL

SCALE
1/16" = 1'-0"

SHEET
513



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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS THIRD
FLOOR STRUCTURAL

DATE

10/26/98

JOB NUMBER

DRAIN BY

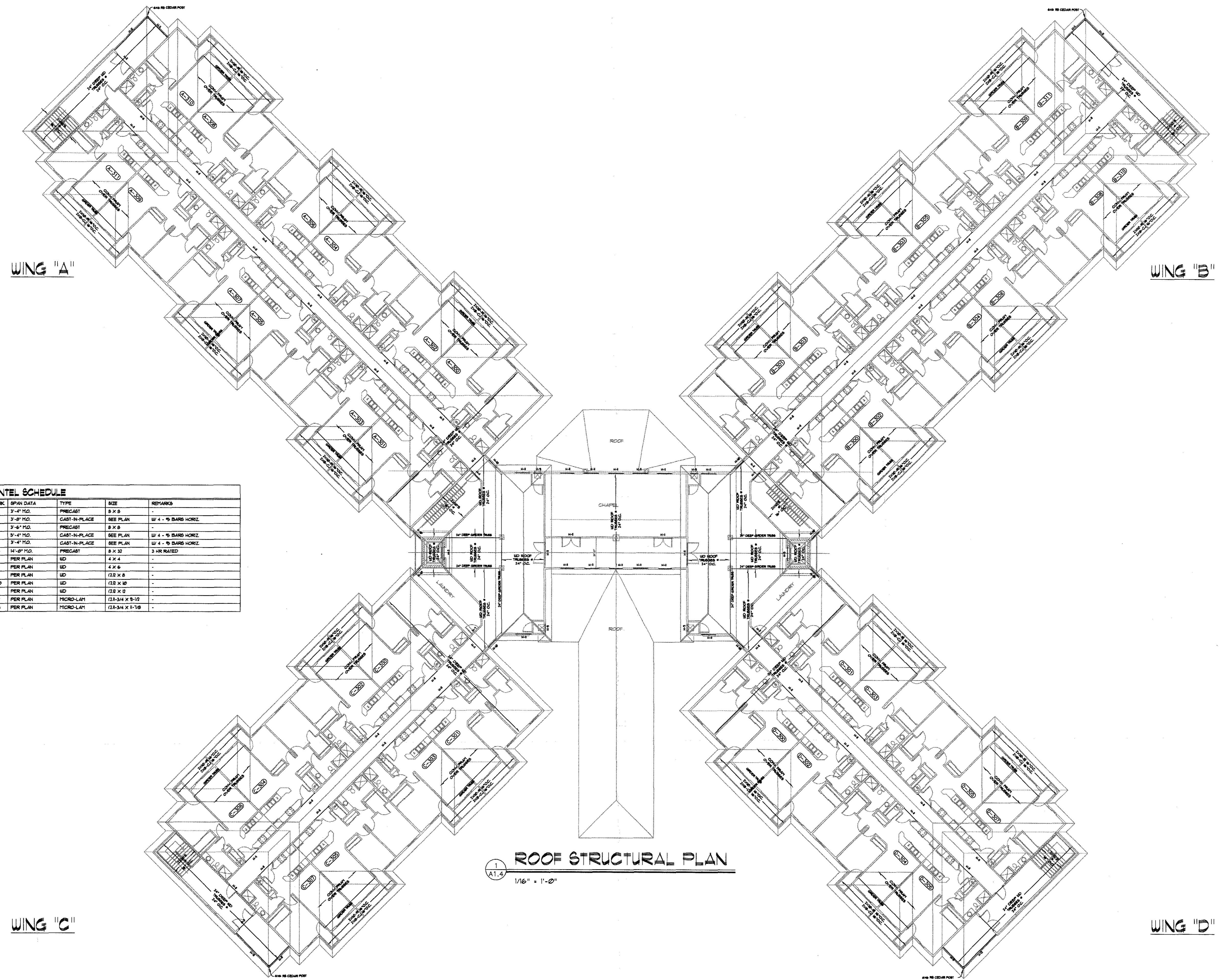
RSJ

SCALE

1/16" = 1'-0"

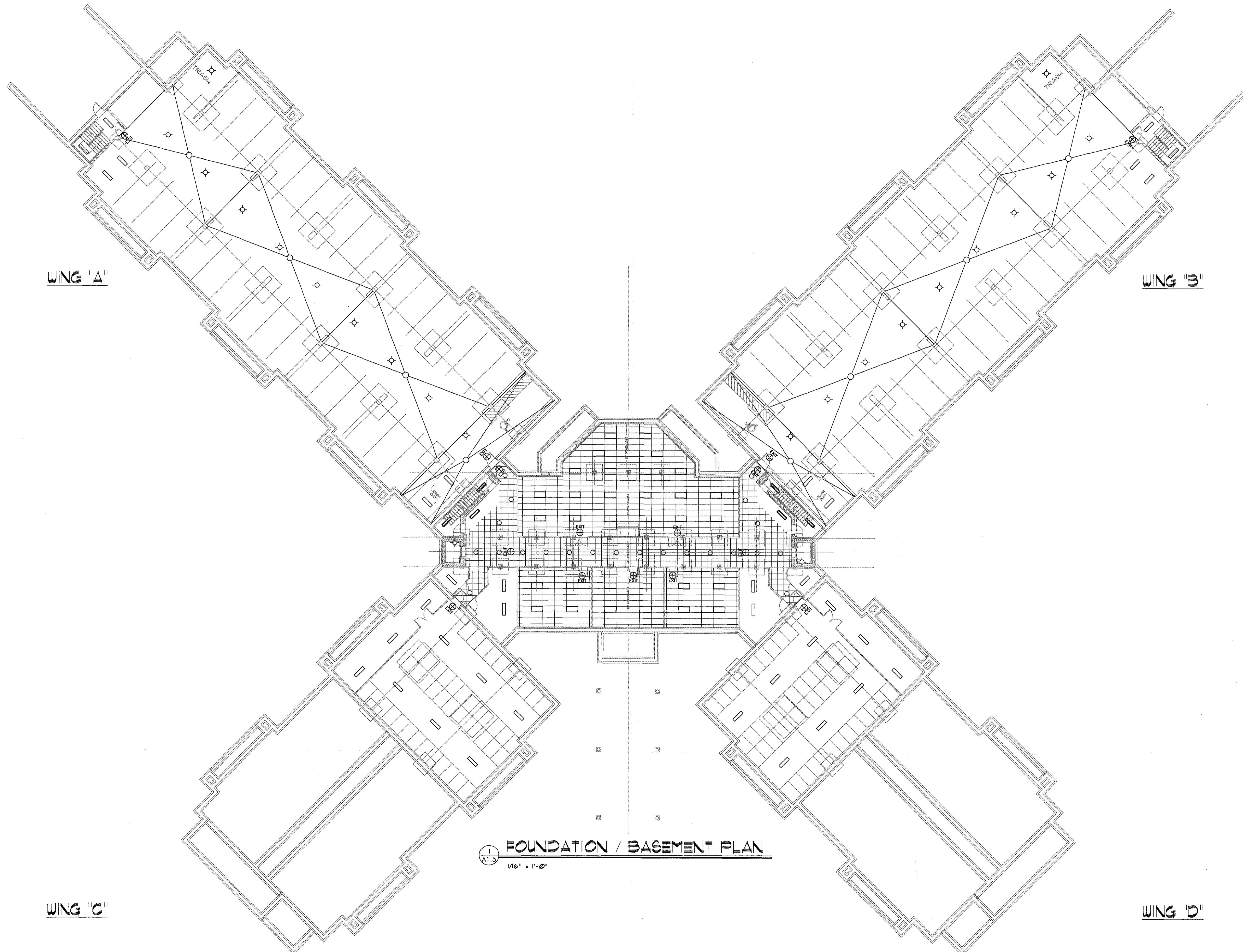
SHEET

514



MARK	SPAN DATA	TYPE	SIZE	REMARKS
H-1	3'-4" M.O.	PRECAST	8 X 8	-
H-2	3'-8" M.O.	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-3	3'-6" M.O.	PRECAST	8 X 8	-
H-4	3'-4" M.O.	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-5	3'-4" M.O.	CAST-IN-PLACE	SEE PLAN	W/ 4 - #5 BARS HORIZ.
H-6	14'-0" M.O.	PRECAST	8 X 32	3 HR RATED
H-7	PER PLAN	UD	4 X 4	-
H-8	PER PLAN	UD	4 X 6	-
H-9	PER PLAN	UD	(2) 2 X 8	-
H-10	PER PLAN	UD	(2) 2 X 10	-
H-11	PER PLAN	UD	(2) 2 X 10	-
H-12	PER PLAN	MICRO-LAM	(2)-3/4 X 9-1/2	-
H-13	PER PLAN	MICRO-LAM	(2)-3/4 X 9-1/8	-

1
A1.4
ROOF STRUCTURAL PLAN
1/16" = 1'-0"



WING "A"

WING "B"

WING "C"

WING "D"

1
A1.5
FOUNDATION / BASEMENT PLAN
1/16" = 1'-0"



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REVISIONS
12/14/98 - REVISED

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PROJECT

**PRAIRIE RIDGE
SENIOR CAMPUS**

PLEASANT PRAIRIE, WI

SHEET TITLE

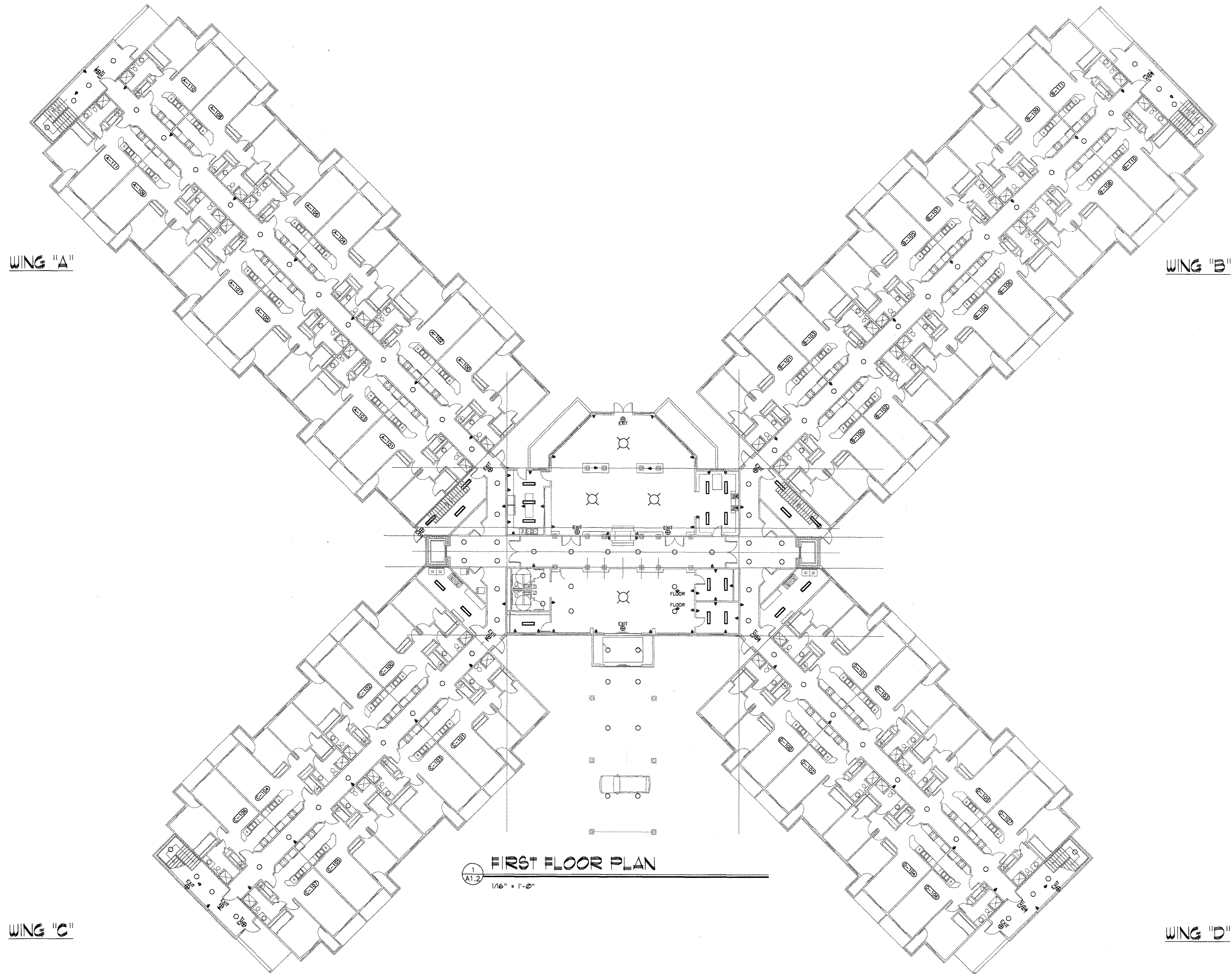
**CAMPUS BASEMENT
PLAN ELECTRICAL**

DATE
10/26/98

JOB NUMBER DRAWN BY
R9L/BJK

SCALE
1/16" = 1'-0"

SHEET
11



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PROJECT

PRAIRIE RIDGE
SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS FIRST
FLOOR ELECTRICAL

DATE

10/26/98

JOB NUMBER

DRAWN BY

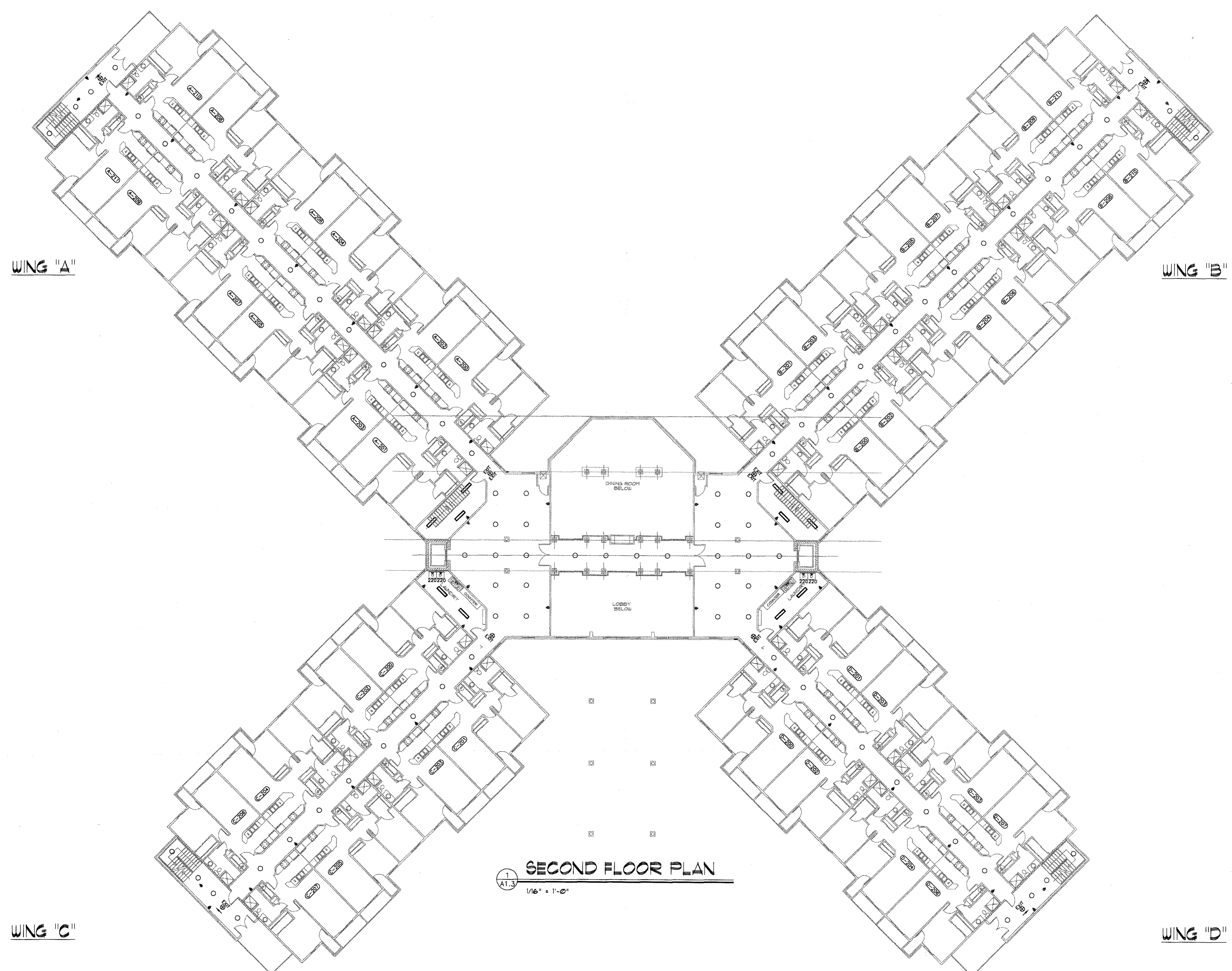
RSL/BJK

SCALE

1/16" = 1'-0"

SHEET

1.2



1
A1.3
SECOND FLOOR PLAN
1/16" = 1'-0"



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PROJECT

PRAIRIE RIDGE SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS SECOND FLOOR ELECTRICAL

DATE
10/26/98

JOB NUMBER
DRAWN BY
RSL/BJK

SCALE
1/16" = 1'-0"

SHEET
3

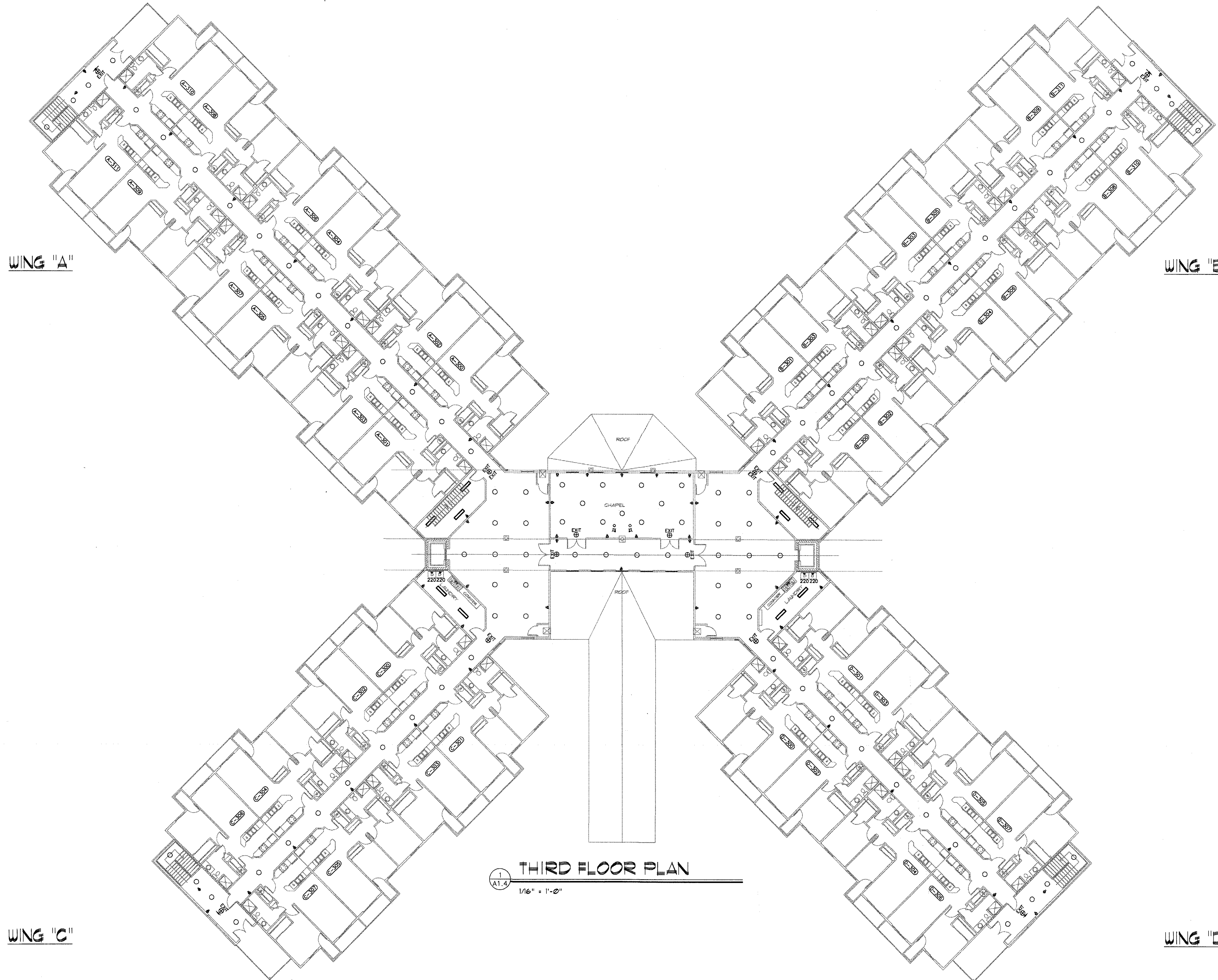


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THIRD FLOOR PLAN
1/16" = 1'-0"

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PROJECT
PRAIRIE RIDGE SENIOR CAMPUS

PLEASANT PRAIRIE, WI

SHEET TITLE

CAMPUS THIRD FLOOR ELECTRICAL

DATE
10/26/98

JOB NUMBER
DRAWN BY
RSL/BJK

SCALE
1/16" = 1'-0"

SHEET
E1.4



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PROJECT

PRAIRIE RIDGE
SENIOR CENTER

PLEASANT PRAIRIE, WI

SHEET TITLE

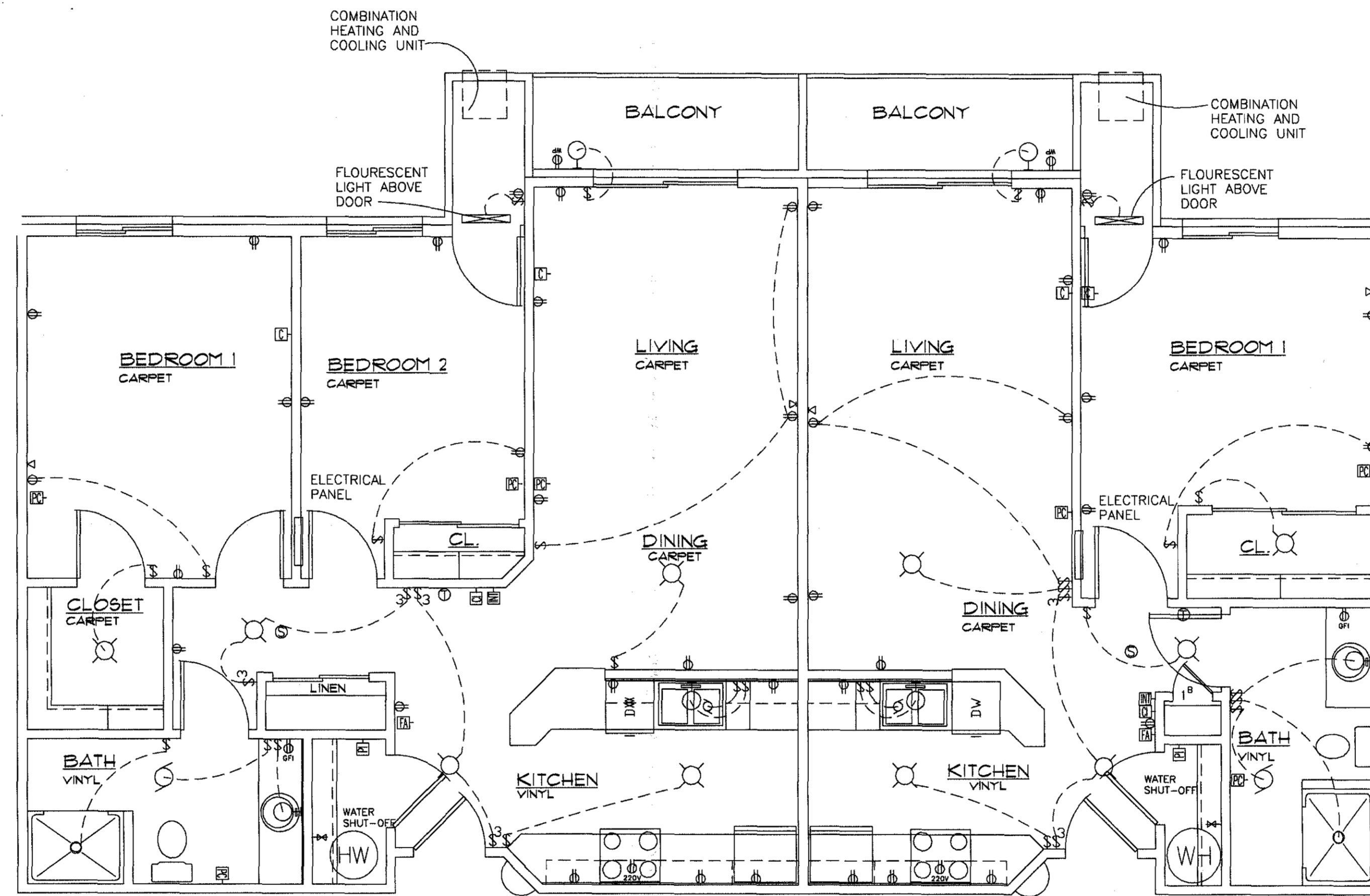
TYPICAL UNIT
ELECTRICAL PLANS

DATE
10/26/98

JOB NUMBER DRAWN BY
R8L/BJK

SCALE
1/4" = 1'-0"

SHEET
E15



2 BEDROOM - 1 BATH (approx. 925 sqft)

UNIT FLOOR PLAN
1/4" = 1'-0"

1 BEDROOM - 1 BATH (approx. 683 sqft)

UNIT FLOOR PLAN
1/4" = 1'-0"

TYPICAL UNIT ELECTRICAL PLANS

1
A3.1
1/4" = 1'-0"

- ELECTRICAL KEY
- ☐ PHONE INTERFACE
 - ☐ CABLE OUTLET
 - ☐ PULL CORD EMERGENCY SWITCH
 - ☐ CHECK-IN SYSTEM BUTTON
 - ☐ INTERCOM
 - ☐ SMOKE DETECTOR
 - ☐ THERMOSTAT
 - ☐ TELEPHONE JACK
 - ☐ FIRE ALARM PULL STATION

- B. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** for the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval to amend The Bulls Eye Commercial Development Planned Unit Development (Chapter 420 Attachment 3, Appendix C Specific Development Plan #41 in the Village Zoning Ordinance) for the properties located at 9330 and 9370 76th Street within the Prairie Ridge development. Specifically the PUD is proposed to be amended to allow for the parking lot setback to be a minimum of 19 feet from the property line adjacent to STH 50 (75th Street) rather than 20 feet.

Recommendation:

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Text Amendment** as presented in the September 12, 2016 Village Staff Report.

VILLAGE STAFF REPORT OF SEPTEMBER 12, 2016

CONSIDERATION OF A ZONING TEXT AMENDMENT for the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval to amend The Bulls Eye Commercial Development Planned Unit Development (Chapter 420 Attachment 3, Appendix C Specific Development Plan #41 in the Village Zoning Ordinance) for the properties located at 9330 and 9370 76th Street within the Prairie Ridge development. Specifically the PUD is proposed to be amended to allow for the parking lot setback to be a minimum of 19 feet from the property line adjacent to STH 50 (75th Street) rather than 20 feet.

On June 20, 2015 the Village Board approved the Bulls-Eye Commercial Development Planned Unit Development (Ord. #15-22) for the proposed development. Upon submittal of the as-built plans the parking lot was constructed 19.83 feet from the north property line rather than the required 20 feet.

Since the site was constructed, the petitioner is requesting to amend the PUD to allow for the parking adjacent to the north property line to be 19 feet (see attached ordinance amendment).

Village staff recommends approval of the Zoning Text Amendment as presented.

ORD. # _____

**ORDINANCE TO AMEND
THE BULLS-EYE COMMERCIAL DEVELOPMENT
PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE PURSUANT TO
CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, amend Section d (vi) of The Bulls-Eye Commercial Development Planned Unit Development (PUD) (Chapter 420 Attachment 3, Appendix C Specific Development Plan #41 in the Village Zoning Ordinance) be amended to read as follows:

- (vi) Section 420-48 L related to setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be amended as follows:
- L. Parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be a minimum of 20 feet from the property lines adjacent to 94th Avenue, a minimum of 19 feet from the property line adjacent to STH 50 (75th Street) and a minimum of 15 feet from the property line adjacent to 76th Street; no setback required from side property lines pursuant to the cross access easements shown on said CSM for the DEVELOPMENT.

Adopted this _____ day of _____ 2016.

VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted: _____
CODE1608-002



RECEIVED

AUG 15 2016

PLEASANT PRAIRIE

Filed	_____ 20__	Published	_____ 20__
Public Hearing	_____ 20__		_____ 20__
Fee Paid	_____ 20__	Approved	_____ 20__
Notices Mailed	_____ 20__	Denied	_____ 20__

VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
ZONING MAP AND TEXT AMENDMENT APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B-2 (PUD) District(s) to B-2 (PUD) District(s). The property petitioned to be rezoned is located at: SE Corner of STH 50 & 94th Avenue and is legally described as follows: Lots 1 and 2, CSM 2799

Tax Parcel Number(s): 94-4-122-081-0211 and 91-4-122-081-0212

The proposed use for this property is: Multi-tenant Retail

Petitioner's interest in the requested rezoning: Owner / Developer

Compatibility with adjacent land uses: yes

I (We) are also requesting a Zoning Text Amendment to amend Section See attached of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Tim Dearman
Signature: [Signature]
Address: 3841 Green Hills Village Dr.,
Nashville, TN 37215 #400
(City) (State) (Zip)
Phone: 615-269-5444
Fax: 615-386-6866
Email: tdearman@oldacremcdonald.com
Date: 8/12/2016

OWNER'S AGENT:

Print Name: Mark D. Eberle, P.E.
Nielsen Madsen & Barber, S.C.
Signature: [Signature]
Address: 1458 Horizon Blvd, Suite 200
Racine, WI 53406
(City) (State) (Zip)
Phone: (262) 634-5588
Fax: (262) 634-5024
Email: meberle@nmbc.net
Date: August 12, 2016



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

RECEIVED

AUG 15 2016

PLEASANT PRAIRIE

August 15, 2016

Ms. Jean Werbie - Harris
Village of Pleasant Prairie
9915 - 39th Avenue
Pleasant Prairie, WI 53158

RE: Prairie Ridge - Bullseye Development
Planned Unit Development Overlay Request
File No. 2015.0011.01

Dear Jean:

D3 Pleasant Prairie, LLC, Developer of the above-referenced project, is hereby requesting an amendment to the current Planned Unit Development (PUD) overlay on Lots 1 and 2 of CSM 2799 to accommodate the recent construction of two (2) - five (5) unit multi-tenant retail buildings as shown on the enclosed as-built survey. As part of this amendment, they are requesting the following "Dimensional Variances" from the Village of Pleasant Prairie Code of Ordinances:

- 1) Chapter 420-48 L.1.a. (Parking Lot and Circulation Requirements) to allow a nineteen foot (19') setback from the South right-of-way line of STH 50 (75th Street) in lieu of the required twenty feet (20').
 - Reason for Variance: To allow for standard 80' deep rental units, sufficient sidewalk widths, adequate traffic circulation and the need to match the setbacks for adjacent development to the East.

As with the previous PUD request, in recognition of the requested dimensional variances, the Developer is proposing to provide the following site enhancements:

- 1) An External Digital Imaging Security System (DSIS).
- 2) Internal Fire Protection System (in each building).
- 3) Enhanced Architectural Design Elements
- 4) Enhanced Site Lighting & Landscaping Designs

If you have any questions or comments, please contact me at your earliest convenience.

Sincerely,

Mark D. Eberle, P.E.
Enclosures



ORD. #15-22

**ORDINANCE TO CREATE
THE BULLS-EYE COMMERCIAL DEVELOPMENT
PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE PURSUANT TO
CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, create The Bulls-Eye Commercial Development Planned Unit Development (PUD) pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

THE BULLS-EYE COMMERCIAL DEVELOPMENT PLANNED UNIT DEVELOPMENT

- a. It is the intent that The Bulls-Eye Commercial Development (hereinafter referred to as the "DEVELOPMENT"), will provide for structures, improvements and uses on the properties as legally described below in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying B-2, Community Business Zoning District with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the additional goal of proper maintenance on a regular basis to the structures, landscaping, street trees, sitting areas, parking areas, sidewalks, security cameras, lighting, signage, garbage dumpster enclosures, and overall site so as to promote an attractive and harmonious commercial development area and work to achieve a commercial/business environment of sustained desirability and economic stability, which will operate as a uniform commercial development with the surrounding commercial properties located in the Village of Pleasant Prairie as well as avoids unreasonable adverse effects to the property values of the surrounding properties and the surrounding neighborhood.
- b. Legal Description: The properties included are collectively known as Lot 1 and 2 of CSM 2799 as recorded at the Kenosha County Register of Deeds Office on December 18, 2015 as Document 2015 (previously a part of Outlot 21 of Prairie Ridge Subdivision), located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie.
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
 - (ii) The DEVELOPMENT shall be in compliance with the *Prairie Ridge Commercial Development Declaration of Development Standards and Protective Covenants*, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iii) The DEVELOPMENT is incorporated into the Prairie Ridge Street Lighting District and be responsible for the pro rata share of street lights/energy costs associated with the commercial district street lighting.
 - (iv) All private improvements for this DEVELOPMENT are required to be installed and maintained pursuant to the approved Preliminary Site and Operational Plans and any subsequent Site and Operational Plans approved and on file with the Village.
 - (v) The DEVELOPMENT, including but not limited to, the buildings, signs, fence(s), garbage dumpster enclosures, landscaping, parking lot(s), exterior site lighting, public street trees, terrace areas and sidewalks, etc., and the site as a whole, shall

be maintained on a regular basis in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. This site maintenance shall also include the daily picking up and disposal of trash and debris which may accumulate on the sites. Annually, or more frequent if necessary, compliance inspections will be performed to verify that the site, development, building, landscaping and signage are being maintained in compliance with the Village approved Site and Operational Plans. Dead site landscaping and diseased street trees and plantings shall be removed and replaced per the approved Landscape Plans; all site landscaping shall be watered, trimmed and maintained; signage shall be repaired and repainted as needed; all structures, trim, and building architectural details shall be cleaned, repainted, fixed, and repaired on a regular basis; and the parking lots shall be surfaced, and striped and repainted on a regular basis.

- (vi) Except as provided herein, the DEVELOPMENT shall be in compliance with ORDINANCE #07-28, adopted by the Village Board on July 16, 2007, and entitled *Prairie Ridge Planned Unit Development Ordinance*. Said Ordinance, as requested by the owners and approved by the Village, may be amended from time to time.
- (vii) The owners of the DEVELOPMENT shall be in compliance with a Digital Security Imaging System Agreement (DSIS) and Access Easement as approved by the Village.
- (viii) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permits (if applicable) and Planned Unit Developments, and Village Licenses and Permits as on file with the Village.
- (ix) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.
- (x) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, outdoor furniture, etc. with the Prairie Ridge entire commercial area included within the Prairie Ridge Subdivision.
- (xi) The DEVELOPMENT shall be operated and maintained in a uniform manner, regardless of property ownership. If the DEVELOPMENT is sold to another entity(s), the DEVELOPMENT shall continue to operate as a unified commercial development PUD and shall continue to comply with this PUD and all other PUDs that may be applicable to the DEVELOPMENT, which may be amended from time to time. Specifically, but not limited to, the commercial buildings parking lots shall be utilized as a shared parking lots and cross-access easements shall be designed in order to allow and facilitate the movement of vehicular traffic from property to property.
- (xii) Delivery vehicles and trucks shall be temporarily parked inconspicuously on the sites. No trucks [e.g. semi cab, semi trailer, construction vehicles (except when permitted construction activities are taking place), step vans, delivery vans (except when goods and merchandise are being delivered), business-related vehicles with advertising displayed on the vehicles, catering vehicles, other commercial vehicles, etc.] shall be parked within the DEVELOPMENT.
- (xiii) Detached/attached outdoor seasonal sale displays and product sales areas (e.g. Christmas tree sales, fruit sales, other seasonal merchandise sales, general merchandise sales, special party supply sales, etc.) shall not be allowed. There shall be no roof mounted or sidewalk displays of merchandise or any other items,

including temporary or permanent signage that is not allowed by the Zoning Ordinance. Holiday decorations are allowed insofar as they are timely removed within 21 days after the holiday.

- (xiv) Commercial communication antennas, whips, panels, satellite dishes or other similar transmission or reception devices that are mounted inside the buildings or are adequately camouflaged so as not to be readily seen by the general public, as either an accessory use, as specified in Chapter 420-120 D. (3) of the Village Zoning Ordinance are allowed without approval of a Conditional Use Permit within this Development.
- (xv) Temporary or permanent storage containers (some having brand names such as P.O.D.S, S.A.M.S., etc.) and compactors are not allowed within the DEVELOPMENT. All merchandise, product, crate, pallet, etc., storage shall be stored inside a building.
- (xvi) No flags, pennants, streamers, inflatable signage, plastic banner-type signage, spot lights, walking signs, shall be affixed to any building, person, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xvii) No sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public right-of-ways for extended periods of time advertising the businesses, sales or special offers of the service or retail businesses.
- (xviii) No raceways or box signage or neon tube banding around the buildings shall be permitted on any buildings within the DEVELOPMENT.
- (xix) All wall mounted signage shall be located on the buildings as approved and permitted by the Village. No signage shall cross over the architectural panels or details of the building. Specific signage plans shall be reviewed and approved for each building.
- (xx) The DEVELOPMENT shall comply with the designated business hours of operation and hours of delivery times and garbage pick-up times for the B-2 District at all times during the year, even during the holiday seasons unless expressly approved in writing by the Village.
- (xxi) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
- (xxii) The DEVELOPMENT shall not be used for any outside overnight or daytime parking of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations. No extended overnight parking of passenger vehicles is allowed in the parking lots.
- (xxiii) In the event that any tenant requests public transportation to service the DEVELOPMENT, it shall be the responsibility of the requesting party(ies) to fund the cost of providing such public transportation to and from the DEVELOPMENT.
- (xxiv) The Owners shall execute a cross-access parking agreement with a nearby land owner which provides additional parking to serve the properties within the DEVELOPMENT. Furthermore, the DEVELOPMENT shall not be permitted to modify its land uses wherein a greater demand for parking would be required that would increase the parking demands.
- (xxv) The Owners have executed and recorded a Declaration of Easements and Restrictions for the benefit of the Outlot 20 and 21 properties that will be on file

with the Village which addresses parking and pedestrian ingress/egress, cross access, site maintenance and land uses.

(xxvi) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.

d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:

(i) Section 420-119 I (1) related to Lot Size in the B-2 District is amended as follows:

(1) Lot size: Lot 1 shall be a minimum of 1.042 acre, Lot 2 shall be a minimum of 0.969 acres. This lot area is allowed to be reduced, if additional right-of-way is acquired in the future roadway improvements.

(ii) Section 420-119 I (3) related to Open Space is amended as follows:

(3) The DEVELOPMENT shall maintain a minimum of 24% open space.

(iii) Section 420-119 I (4) (c) related to building setbacks is amended as follows:

(c) Setbacks:

[1] Street Setback: minimum of 65 feet from property line adjacent to STH 50 (75th Street) and a minimum of 31 feet from the property line adjacent to 94th Avenue and 40 feet from the property line adjacent to 76th Street.

[2] Side Setback: Lot 1: a minimum of 30 feet from the east side property line.

[3] Side Setback Lot 2: a minimum of 27 feet from the east side property line and a minimum of 15 feet from the west side property line.

(iv) Section 420-47 A related to Driveway spacing between driveways shall be amended as follows:

A. The driveway servicing the DEVELOPMENT on 76th Street shall be a minimum of 103 feet as measured from driveway center line to driveway center line from any other driveway on 76th Street

(v) Section 420-47 E related to setbacks for driveways are amended as follows:

E. Setback. The shared access driveways for said Lots may cross property lines with the DEVELOPMENT.

(vi) Section 420-48 L related to setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be amended as follows:

L. Parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be a minimum of 20 feet from the property lines adjacent to 94th Avenue and STH 50 (75th Street) and 15 feet from the property line adjacent to 76th Street; no setback required from side property lines pursuant to the cross access easements shown on said CSM for the DEVELOPMENT.

(vii) Section 420-48 O (2) related to landscaping is being amended as follows:

(2) The ends of each parking aisle shall have a curbed landscaped island. In addition, all parking areas shall provide curbed landscaped island within the parking areas of the DEVELOPMENT as shown on the Site and Operational Plans. All landscaped islands shall be a minimum of

seven feet wide from face of curb to face of curb and shall extend the full length of the parking space.

(viii) Section 420-50 related to minimum parking spaces required requires the following number of parking spaces for the uses with the DEVELOPMENT:

- Restaurant requires a minimum of one (1) space for each 100 square feet of floor area plus one (1) space for every two (2) employees on the largest work shift.
- Retail store requires a minimum of one (1) space for each 200 feet of primary floor area plus one (1) space for every two (2) employees.
- Medical and dental offices require a minimum five (5) spaces for every doctor plus one (1) space for every employee.
- In addition to these minimum parking spaces, the required handicapped accessible parking spaces as required by the State Code shall also be provided.

The DEVELOPMENT provides for 109 parking spaces, which includes five (5) handicapped accessible spaces. This PUD will allow for additional parking requirements to be met off-site (not on the street), but in a nearby or an adjacent parking lot. An Easement Agreement (with the Congregation of St. Anne) for additional parking off-site parking spaces shall be maintained by the property owner for use by this development until and unless other cross access parking is available to make up for the parking space deficiency.

(ix) Section 420-76 T. related to Primary Monument Signs shall be amended as follows:

T. Primary Monument Signs

- (1) One sign is required for the DEVELOPMENT. Each lot in the DEVELOPMENT may have a sign provided that the signs are not identical in the tenants that they display.
- (2) A changeable copy sign, electronic changing message sign or electronic scrolling sign is permitted.
- (3) Maximum area: 130 square feet per face.
- (4) Maximum height: 10 feet.
- (5) Minimum setback distance: 15 feet from any public street or highway right-of-way line, five feet from any side property line and shall not be located within any easement wherein such sign is not expressly permitted.
- (6) Shall include the street address of the principal building on the property, including the street number(s) and the name of the street, but such address may be placed on the base of the sign (where they will not count toward the maximum area of the sign display). The street address shall be placed a minimum of 18 inches from grade and the letters and numbers shall be a minimum of 3 inches high.
- (7) Landscaping shall extend a minimum of five (5) feet in every direction from the base or other support structure of the sign.
- (8) May be illuminated.
- (9) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of

the sign display constructed or stone or brick to match the building.

(10) The base of the sign shall not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.

(11) May be three-dimensional.

(x) Section 420-78 K related to Aggregate Permitted Background Commercial Advertising Sign Area shall be amended to read as follows:

K. Aggregate permitted background commercial advertising sign area for all tenant spaces/stores on each building in the DEVELOPMENT shall be limited to:

(1) Sign Size: 50 square feet maximum per building façade per tenant/store space.

(2) Sign Height: Three (3) feet Maximum

(3) Compliance with all requirements of Section 420-76 DD entitled Wall Sign as may be amended from time to time.

e. Amendments

(i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.

(ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 20th day of July 2015.

VILLAGE OF PLEASANT PRAIRIE



John P. Steinbrink
Village President

ATTEST:



Jane M. Romanowski
Village Clerk

Posted: 12/22/15

- C. Consider the request of Michael Greany for approval of **Site and Operational Plans** for Kem Krest to occupy the entire 275,000 square foot building located at 9801 80th Avenue in LakeView Corporate Park for the warehousing and distribution of motor cycle parts and accessories (engine heads, seats, handle bars, handle bar grips, foot pegs, pistons, wheel rims, windshields etc.) and packaging materials (boxes, tape, film, bubblewrap, microfoam and stretchwrap, etc.).

Recommendation: Village staff recommends that the Plan Commission approve the Site and Operational Plans subject to the comments and conditions of the Village Staff Report of September 12, 2016.

VILLAGE STAFF REPORT OF SEPTEMBER 12, 2016

Consider the request of Michael Greany for approval of **Site and Operational Plans** for Kem Krest to occupy the entire 275,000 square foot building located at 9801 80th Avenue in LakeView Corporate Park for the warehousing and distribution of motor cycle parts and accessories (engine heads, seats, handle bars, handle bar grips, foot pegs, pistons, wheel rims, windshields etc.) and packaging materials (boxes, tape, film, bubblewrap, microfoam, and stretchwrap, etc.).

The petitioner is requesting to obtain Site and Operational Plans approval to occupy the entire 275,000 square foot building located at 9801 80th Avenue in LakeView Corporate Park for the warehousing and distribution of motor cycle parts and accessories (engine heads, seats, handle bars, handle bar grips, foot pegs, pistons, wheel rims, windshields etc.) and packaging materials (boxes, tape, film, bubblewrap, microfoam and stretchwrap, etc.). These uses are classified as Storage Group S-2 Low-Hazard) and therefore is allowed within the M-2, General Manufacturing District. (This building was previously occupied by Unified Solutions for 22 years.)

Kem Krest like Unified Solutions will operate as a contract packager or integrator performing all of the same functions; purchasing, shipping, receiving, storage and packaging (repacking bulk parts into display packages, shrink wrapping, skin packing, bagging, labeling, etc.). Kem Krest assumed a portion of Unified Solutions business and is currently performing the same services for the same customers in the same facility. Kem Krest also hired approximately 80% of Unified Solutions employees.

Unified Solutions decided to close its business operations effective June 30, 2016. Kem Krest an integrator based in Elkhart, Indiana that specializes in providing comprehensive outsourced solutions managing service parts and accessories, was approached by a client of Unified Solutions and asked if they would be interested in taking over the operation. Unified Solutions was not sold to Kem Krest, although they bought most of Unified Solutions assets, and leased the same building from the same landlord (Liberty Property Trust). They then entered into a contractual agreement with the client that approached them and then proceeded to hire approximately 80% of the Unified Solutions workforce to run the operations. Kem Krest officially began its lease on July 1, 2016 although operations did not start up until Tuesday, July 5, 2016.

Normal hours of business operations are from 6:00 a.m. to 12:00 a.m. Monday through Friday. Kem Krest is not open to the public. Deliveries and shipments occur between 8:00 a.m. and 10:00 p.m.. Kem Krest has 114 full time employees and no part time employees. Kem Krest employs 30 to 70 temporary employees between April and September and employees up to 30 temporary employees between October and March depending on business needs.

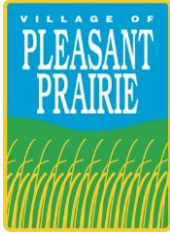
Kem Krest operates basically a shift and a half. 1st shift Assembly, Warehousing, Purchasing, Finance, Customer Service, Quality, IT, and HR work between 6:00 a.m. and 6:00 p.m. Monday through Friday. This shift consists of about 102 full time employees and 65 temporary employees for a total of 167 employees. 2nd shift Warehousing and Maintenance consists of about 12 employees and works between 3:30 p.m. and 12:00 a.m. Monday through Friday. The anticipated maximum number of employees on site at any time of the day is 200.

The site has 159 regular and 9 handicapped parking spaces on the south side of the building. An additional 31 parking spaces are available on the northwest side of the building for a total of 199 parking spaces. There are no plans to expand beyond the current parking available.

Using a peak employment number of 200, Kem Krest would estimate between 110 and 200 trips either arriving or leaving the facility daily. Kem Krest currently averages between 15 and 20 trucks per day.

Recommendation: Village staff recommends conditional approval of the Site and Operational Plans subject to compliance with the above comments and modifying the plans to address the following conditions:

1. See ***attached*** comments dated September 8, 2016 from the Village Department of Public Works Department. *All items shall be satisfied prior to issuance of a written certificate of compliance.*
2. See ***attached*** comments dated September 9, 2016 from the Village Building Inspection Department. *All items shall be satisfied prior to issuance of a written certificate of compliance.*
3. See ***attached*** comments dated September 9, 2016 from the Village Fire & Rescue Department. *All items shall be satisfied prior to issuance of a written certificate of compliance.*
4. Any exterior sign changes require permits to be issued (permit application has been submitted to change the primary monument sign).
5. Prior to issuance of the Certificate of Occupancy, all exterior entrance/exits should be numbered inside and outside beginning at the front of the building and moving clockwise around the structure.
6. Following Plan Commission approval the Commercial Building Permit Application and plans for issuance of the required building permit for occupancy
7. Other Comments:
 - i. No outside storage of any materials, pallets or racking shall be placed outside of the building.
 - ii. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 - iii. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
 - iv. All Village fees incurred by the Community Development Department, or expert Assistants required by the Village throughout the development process will be billed directly to the Kem Krest. Such fees shall be paid to the Village in a timely manner.

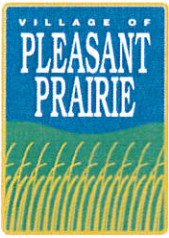


Office of the Director of Public Works
John Steinbrink Jr., P.E.

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator
FROM: John Steinbrink, Jr., P.E., Director of Public Works
CC: Matthew Fineour, P.E., Village Engineer
Jean Werbie-Harris, Community Development Director
SUBJ: DEV1608-004 KEM KREST
DATE: September 8, 2016

The Department of Public Works has reviewed the submitted information for the above referenced project. Based on our review, we have the following comments listed below:

PAGE#	COMMENT
General	There are two water meters on site that require replacement. The Village will need access to them and be able to install new equipment. If no bypass is available or shut off valves do not work properly owner will need to have the necessary plumbing modified to allow for meter replacement.
General	The sampling manhole located on the south side of the building is in the middle of a parking stall. This stall will need to be made a no parking stall so village crews have access to the sampling manhole when needed.
General	The sampling manhole will need to be inspected for conformance with Village standards.



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: KemKrest
Date: September 9, 2016

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com.
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance (including low voltage contractors). We have 10 business days to review and issue permits please plan accordingly. If there are any questions on which contractors need a permit please contact us.
5. Provide and maintain all components regarding “Means of Egress” per chapter 10 of the 2009 IBC.
6. Verify all exterior lighting is in proper operating condition including “ON/OFF” times. Also verify light projection as to not disturb the residential neighbors or create lighting nuisance.
7. Verify all HVAC equipment is in proper working order to provide the required amount of air exchanges and maintain interior temperature per chapter 12 of the 2009 IBC.
8. Verify the plumbing system is in proper working order per Wisconsin Administrative Code SPS 382
9. Verify the electric system is in proper working order per 2011 NEC.



Office of the
Chief of Fire & Rescue
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Craig Roepke, Deputy Chief Fire & Rescue
CC: Doug McElmury, Chief Fire & Rescue
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department Comments for Kem Krest Company
DATE: September 9, 2016

These are comments for the company Kem Krest that will occupy the existing building at 9801-80th Street.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the Site and Operational Plan and Conditional use Permit Zone Application, the Fire & Rescue Department have the following comments regarding the site:

1. The application indicates that the new company will assume similar operations as the previous tenant.
2. There is no mention of modifications or changes in racking, product storage, types of storage, or changes in offices or internal structures.
3. Should the new tenant decide to make changes to the existing product storage arrangement or interior structures such as walls or racking systems that may impact the design of life safety and fire prevention systems, the tenant must adhere to Village ordinances and processes for review and compliance.
4. Life safety Fire prevention systems include but are not limited to Fire Sprinkler systems, Fire Alarm (detection and notification) systems, Emergency egress and lighting, Fire extinguishers, and AED's.
5. AED: The building shall have at minimum one Automatic External Defibrillator within the building, if not already installed. The Fire department can assist in proper placement and training.
6. Contact Information: Provide current information to contact personnel after hours in the event a problem or concern. (Example: sprinkler head discharge afterhours)
7. Any change in building or interior doors or locks, keys, cards, or FOBs must be provided to the Fire Department so that they can be placed in the secured key system on-site. Each Key Box must have two sets of keys.
8. An updated Emergency Plan must be submitted to the Fire & Rescue Department.





**VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a **new** or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20__
Preliminary Determination of Completeness on:	20__
Revised Plans Submitted:	20__
<input type="checkbox"/> Public Hearing Required: Hearing Date: _____, 20__	
Published on: _____ and _____, 20__	Notices sent on: _____, 20__
Approved by <input type="checkbox"/> Plan Commission on _____ 20__	
<input type="checkbox"/> Zoning Administrator on _____ 20__	
Denied by <input type="checkbox"/> Plan Commission on _____ 20__	
<input type="checkbox"/> Zoning Administrator on _____ 20__	

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Kem Krest

SITE ADDRESS: 9801 80th Avenue

BRIEF PROJECT DESCRIPTION: Unified Solutions the prior tennant closed their business effective June 30, 2016. Kem Krest did not purchase Unified Solutions but did purchase USI's assets and hired 80+% of USI's employees. Kem Krest will continue doing a portion of the same business that USI had done.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 114

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 0

SITE SIZE: _____ sq. ft. _____ 15.31 acres

PROPOSED BUILDING SIZE: 275,000 sq.ft. **HEIGHT:** 33 ft.

PROPOSED ADDITION SIZE: _____ sq.ft. **HEIGHT:** _____ ft.

LEGAL DESCRIPTION: Parcel 68 CSM # 1936

TAX PARCEL NUMBER(S) : 92-4-122-211-0388

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M-2

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) 275,000 sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 1.12.

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

- Are there any existing buildings on the site? YES NO
- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
 - If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.

2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.

3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.

2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER: (Liberty Property Trust)

APPLICANT:

Name: Neal Driscoll
(Please Print)

Name: Michael Greany
(Please Print)

Signature: 

Signature: 

Address: 25 NW Point Blvd, Ste 550

Address: 9801 80th Avenue

Elk Grove Village IL 60007
(City) (State) (Zip)

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 847-264-2120

Phone: 262-705-1576

Fax: _____

Fax: 262-942-5255

E-mail: ndriscoll@libertyproperty.com

E-mail: mgreany@usipackaging.com

Date 8/25/16

Date: 8/24/2016

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

USER OR OCCUPANT OF SITE:

Name: _____
(Please Print)

Name: Michael Greany
(Please Print)

Signature: _____

Signature: 

Address: _____

Address: 9801 80th Avenue

(City) (State) (Zip)

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: _____

Phone: 262-7052-1576

Fax: _____

Fax: 262-942-5255

E-mail: _____

E-mail: mgreany@usipackaing.com

Date _____

Date: 8/24/2016

Operational plan.

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Kem Krest like Unified Solutions (the prior tenant for 22 years) will operate as a contract packager or integrator performing all of the same functions; purchasing, shipping, receiving, storage and packaging (repacking bulk parts into display packages, shrink wrapping, skin packing, bagging, labeling, etc.). Kem Krest assumed a portion of Unified Solutions business and is currently performing the same services for the same customers in the same facility. Kem Krest also hired approximately 80% of Unified Solutions employees so the same people will be doing the same work.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

Unified Solutions decided to close its business operations effective June 30, 2016. Kem Krest an integrator based in Elkhart Indiana that specializes in providing a comprehensive outsourced solution to manage service parts and accessories was approached by a client of Unified Solutions and asked if they would be interested in taking over the operation. Unified Solutions was not sold to Kem Krest although Kem Krest bought most of Unified Solutions assets, leased the same building from the same landlord (Liberty Property Trust), and entered into a contractual agreement with the client that approached them and then proceeded to hire approximately 80% of the Unified Solutions workforce to run the operation. Kem Krest officially began its lease on July 1st although operations did not start up until Tuesday July 5th.

(c) Gross floor area of the existing building(s) and/or proposed addition.

The building is approximately 275,000 square feet. There is no proposed addition.

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

Normal hours of operation are 6:00am to 12:00am Monday through Friday. Kem Krest is not open to the public. Deliveries and shipments occur between 8:00am and 10:00pm.

(e) Anticipated startup and total number of full- and part-time employees.

Official startup occurred on Tuesday July 5th 2016. Kem Krest has 114 full time employees and 0 part time employees. Kem Krest employees 30 to 70 temporary employees between April and September and employees 0 and 30 temporary employees between October and March depending on business needs.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

Kem Krest operates basically a shift and a half. 1st shift Assembly, Warehousing, Purchasing, Finance, Customer Service, Quality, IT, and HR work between 6:00am and 6:00pm Monday through Friday. This shift consists of about 102 full time employees and 65 temporary employees for a total of 167 employees. 2nd shift Warehousing and Maintenance consists of about 12 employees and works between 3:30pm and 12:00am Monday through Friday.

(g) Anticipated maximum number of employees on site at any time of the day.

200

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

None.

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

Kem Krest shouldn't need more than 160 parking spaces. This is derived using a maximum employment number of 200 employees where 20% or more are expected to car pool or be dropped off and picked up.

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).

The building has 159 regular and 9 handicapped parking spots on the South side of the building. An additional 31 parking spots are available on the Northwest side of the building for a total of 199 parking spaces. There are no plans to expand beyond the current parking available.

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

Using a peak employment number of 200, Kem Krest would estimate between 110 and 200 trips either arriving or leaving the facility daily.

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

Kem Krest currently averages between 15 and 20 trucks per day.

(m) Types and quantities of goods and materials to be made, used or stored on site.

Kem Krest manages over 9,000 SKU's of motorcycle parts and accessories (engine heads, seats, handle bars, handle bar grips, foot pegs, pistons, wheel rims, windshields, etc.). Kem Krest also manages over 400 SKU's of packaging materials (boxes, tape, film, bubblewrap, microfoam, stretchwrap, etc.). On average, Kem Krest has about 5 million units of inventory in its warehouse.

(n) Types of equipment or machinery to be used on site.

Industrial trucks, scissors lift, golf carts, conveyors, bagging machines, shrinkwrap equipment, cold seal equipment, skin pack equipment, pallet wrappers, case sealers, air compressors, banding equipment, label printers, void fill machines, computers, printers and compactors comprise the normal equipment and machinery used.

(o) Types and quantities of solid or liquid waste materials which will require disposal.

Kem Krest generates:

Non-Recyclable garbage	approximately 3 to 4 tons monthly
Recyclable Pallets	approximately 500 pallets per week
Recyclable Corrugate	approximately 20,000 to 30,000 pounds every 2 weeks
Recyclable Plastic	approximately 2 bales (1,060 pounds per bale) every 2 weeks
Recyclable Paper	approximately 200 pounds every 2 weeks
Liquid Waste	None

(p) Method of handling, storing and disposing of solid or liquid waste materials.

Kem Krest recycles as much as possible (paper, pallets (wood), corrugate, plastic, metals, etc.). Kem Krest partners with Allied Resource Recovery, Prime Woodcraft, Miller Compressing and Ash Pallet Management to accomplish this. Other non-recyclable garbage is compressed and processed by Waste Management. Kem Krest currently does not create any liquid waste as a result of normal operations. Kem Krest utilizes Safety-Kleen

and Batteries Plus for disposal of fluorescent bulbs, ballasts and items such as hydraulic oil should a hose break on and industrial truck creating a spill.

(q) Methods of providing site and building security other than the Village Police Department.

Kem Krest has a Honeywell Security System that monitors the buildings external doors. This system is used to automatically unlock doors on a time-of-day and day-of-week schedule for employee access. The system also provides FOB access readers which can track and allow/prevent access and send alerts via text. Additionally, Kem Krest has a start-up and shut-down procedure which is performed daily Monday through Friday on all of the building's exterior doors.

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Kem Krest has an internal maintenance staff to perform some functions in addition to utilizing outside contractors for HVAC, Plumbing, Electrical, Roofing, Asphalt, Concrete, Fire Suppression/Alarm systems, etc.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

None

(t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained.

None

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § [420-38](#) of this chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

(h) Indoor pyrotechnic displays are prohibited.

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: 8-29-16 ph

Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

To be submitted to the

Kenosha Water Utility

General Information

1. Facility Name: Kem Krest
2. Mailing Address: 9801 80th Avenue
3. City, State, Zip Code: Pleasant Prairie, WI 53158
4. Site Address: 9801 80th Avenue
5. Standard Industrial Classification Code (SIC): 4225
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: David Weaver
Title: President
Phone #: 574-389-2660

Company Contact

Name: Mike Greany
Title: General Manager
Phone #: 262-705-1576

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

None

Operational Characteristics

1. Existing Number of Employees: Full Time 114 Part Time 0
2. Operational Schedule: Days/Wk 5 Hours/Day 18 # Shifts 2
3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): Kem Krest is a contract packager or integrator performing purchasing, shipping, receiving, storage and packaging (repacking bulk parts into display packages, shrink wrapping, skin packing, bagging, labeling, etc.).
4. List principal raw materials used: None
5. List products produced and the average rate of production: Nothing is produced. Kem Krest is an integrator, we package or re-packaging existing product.
6. List types of wastes created during production and any by-products produced: Corrugate, plastic, paper.
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 282,000 gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie
Meter number or address assigned to water meter(s). Stamp = 47819412 Meter = 03785173 and Stamp = 48621499 Meter = 004738390
8. Type of discharges: Continuous _____ Batch
If batch was indicated, give the average frequency and approximate volume of any batch discharges: Typical domestic use.
9. Describe the uses of water at this facility: Drinking, washing hands, toilets, lawn watering, and custodial

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
<u>N/A</u>	

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

N/A

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? N/A

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	3680	3680	Batch
Process Wastewater Usage	0	0	
Cooling Water Usage	0	0	
Other Usage	0	0	
Total Volume	3680	3680	

5. Describe all locations where wastewaters enter the collection system
-
-

6. Is there a sampling manhole on site? No _____ Yes
- If yes, describe the locations: South parking lot across from the employee entrance.
-

7. Are sanitary and process wastewaters separated? No _____ Yes _____

8. Is boiler blowdown water discharged to the sanitary sewer? No Yes _____

9. Does your facility haul any process wastewater? No Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No Yes _____
- If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No Yes _____

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
- No _____ Yes If yes, describe procedure: _____

Battery acid spill and hydraulic oil leak spill programs exist explaining proper handling and disposal.

5. Is any form of waste water pretreatment practiced at this facility? No Yes
 If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.
N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.
N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

 David Weaver

Print Name: Authorized Representative

 President

Title



 Signature: Authorized Representative

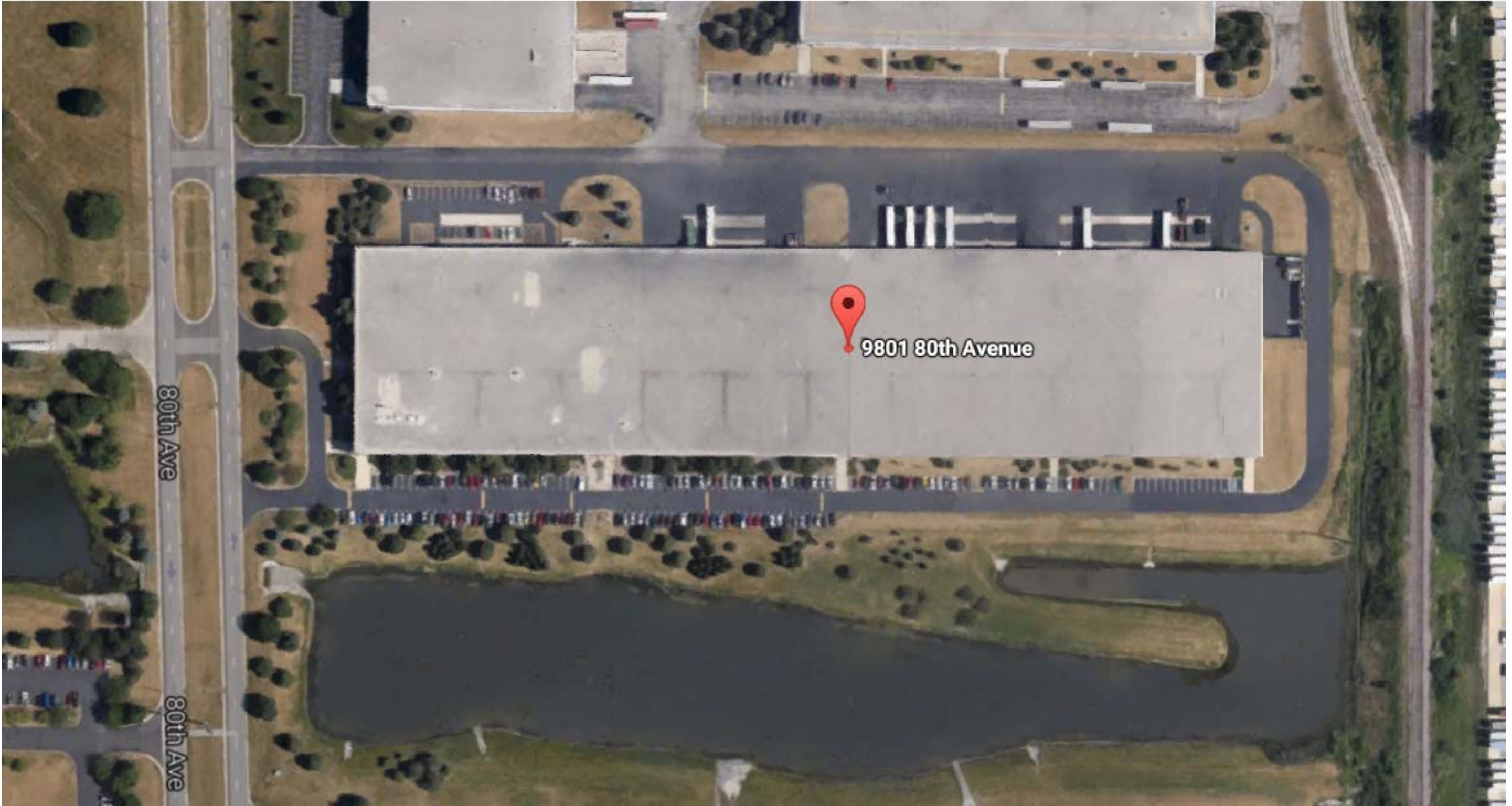
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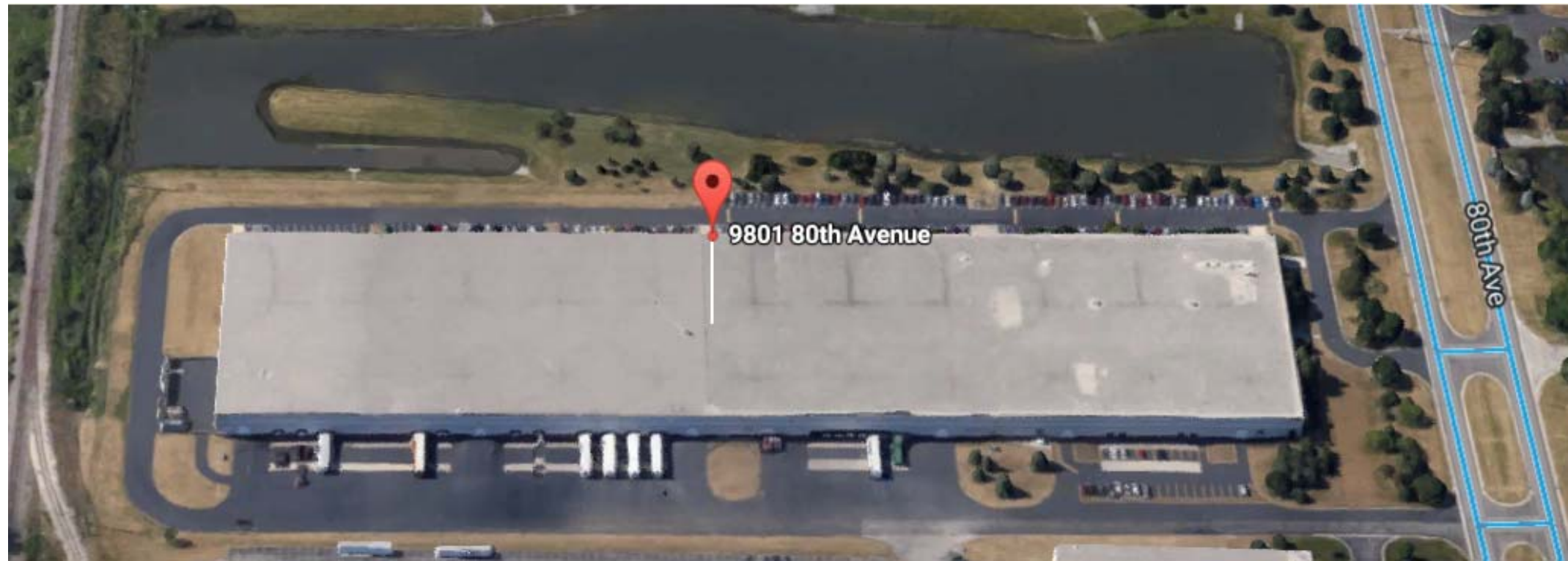
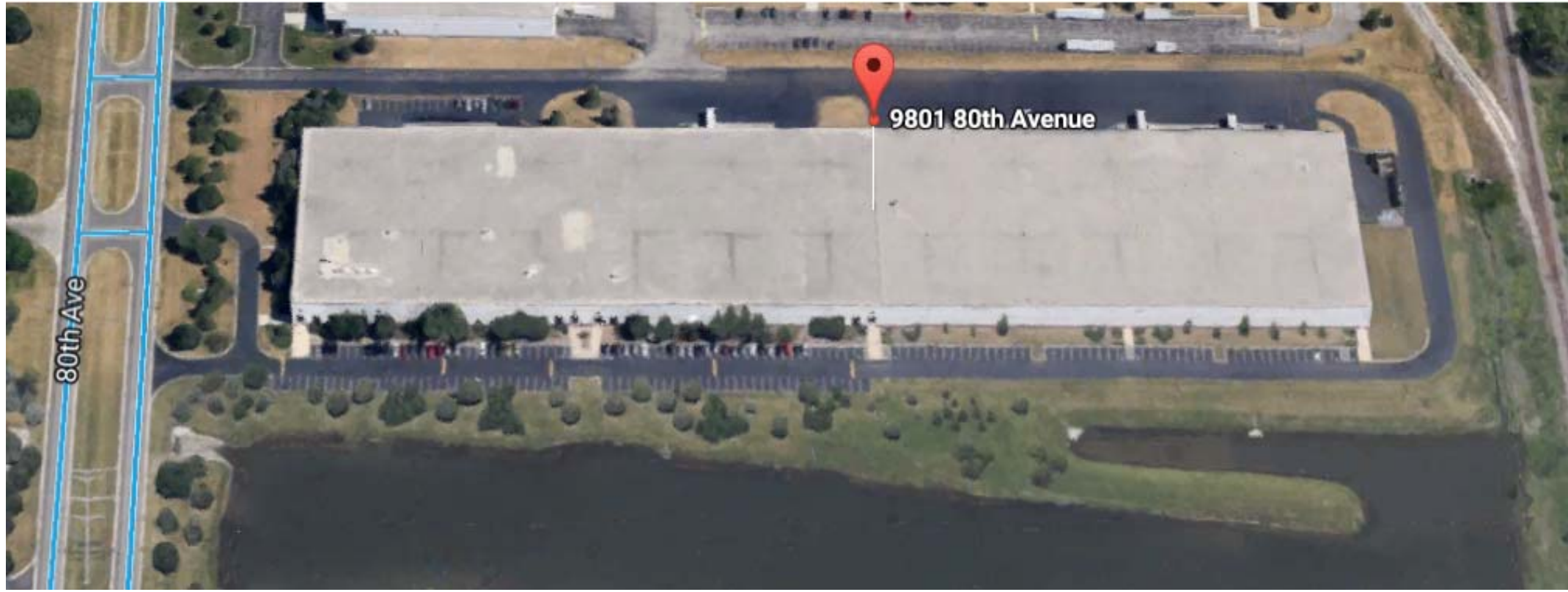
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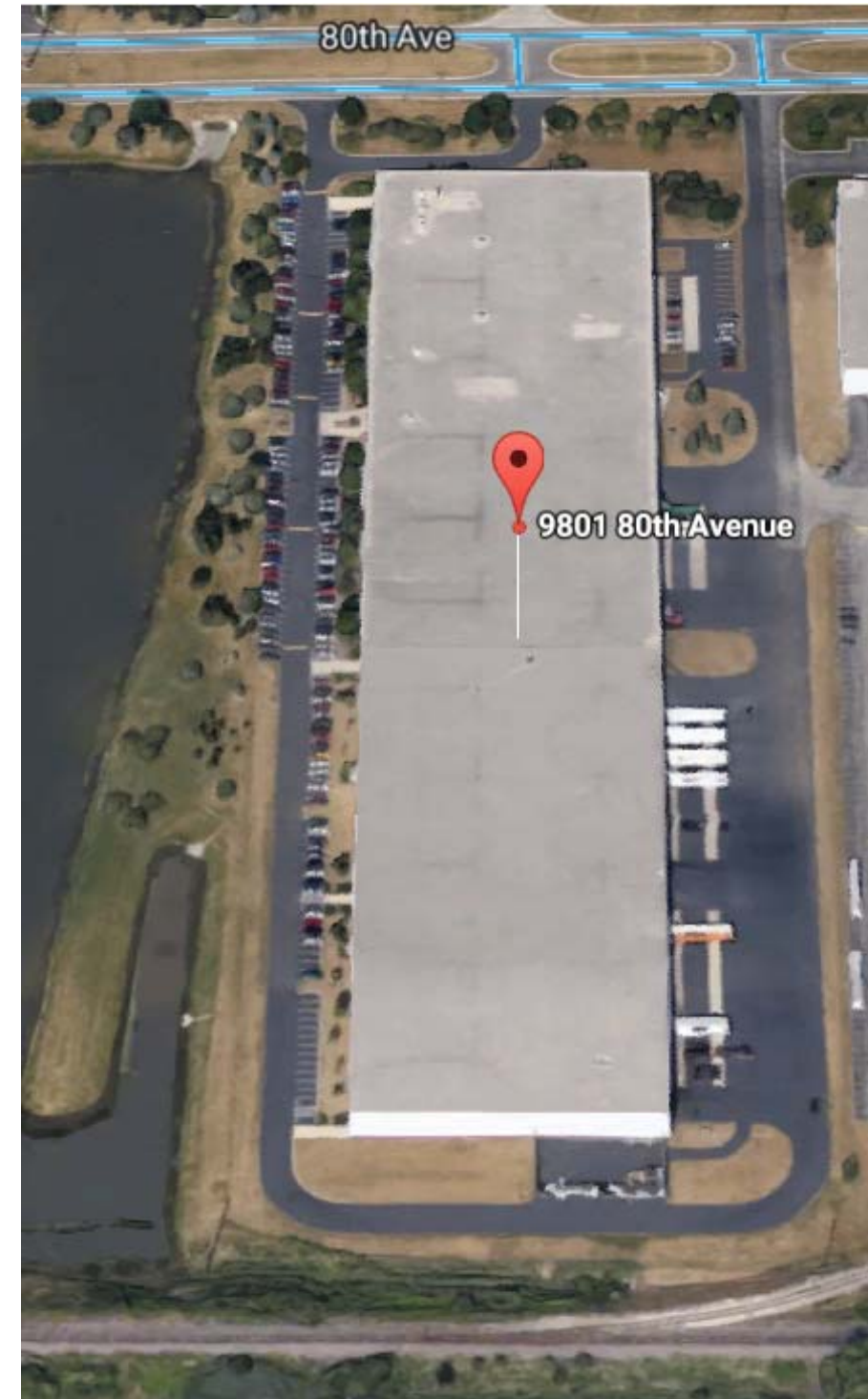
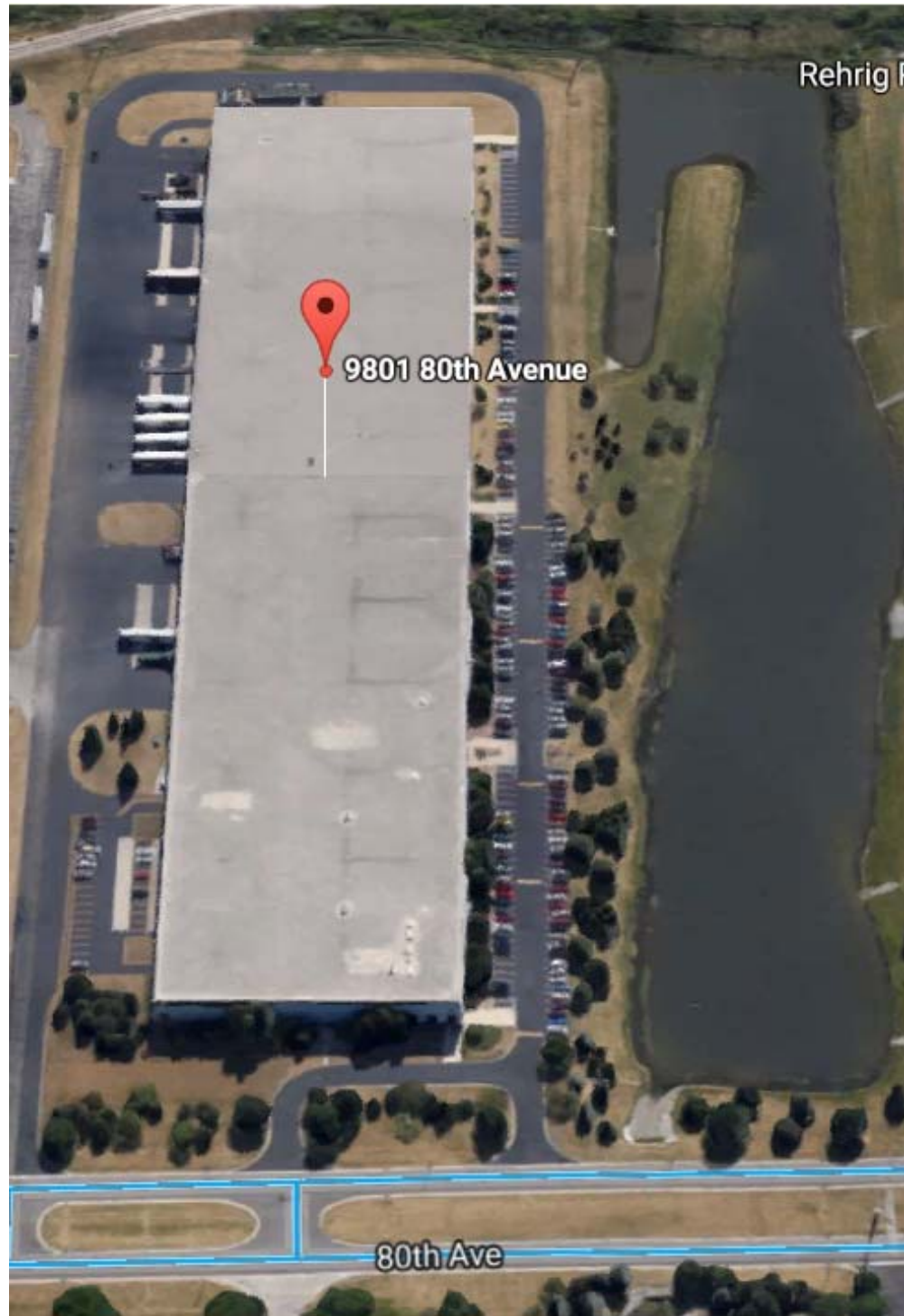
Appendix
Toxic Pollutants Listed in 40CFR 307(a)

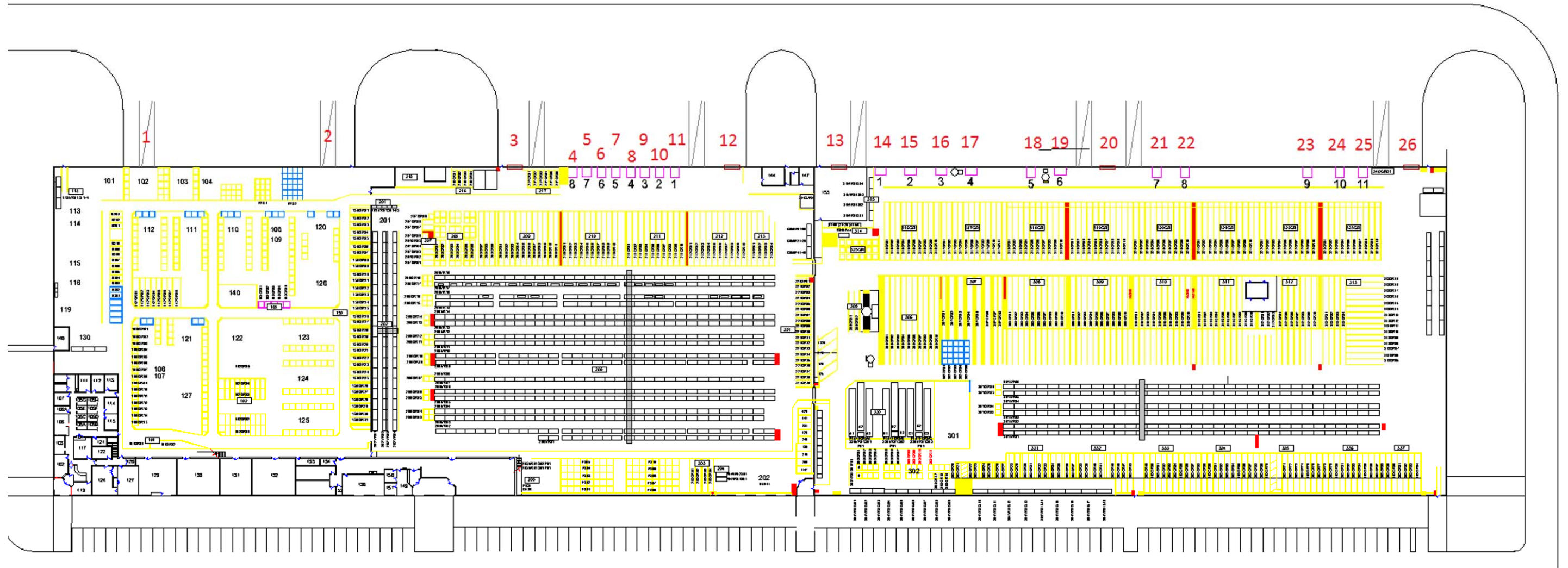
Known Absent	Suspected Present	Known Present	Pollutant
✓			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

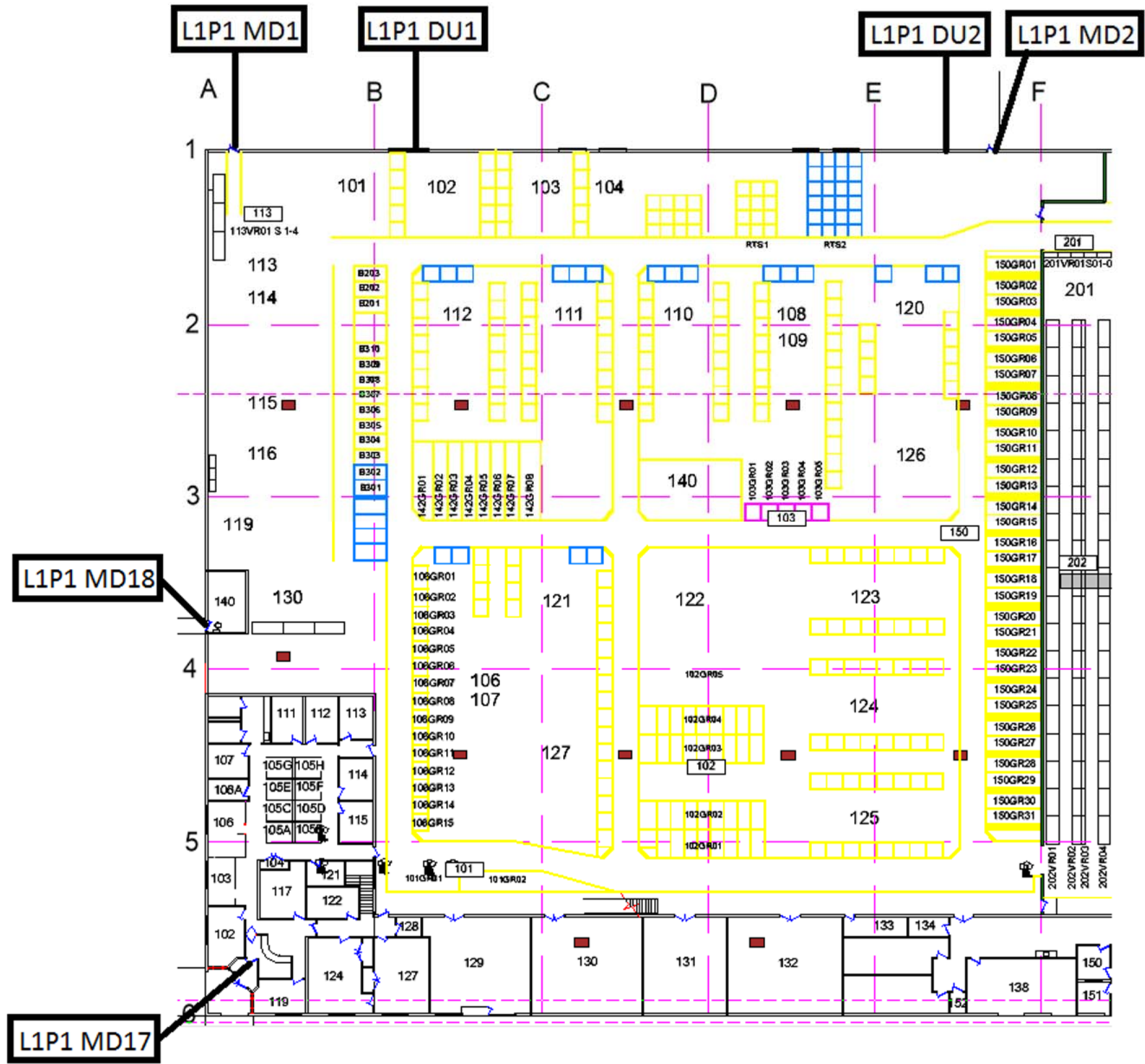
Known Absent	Suspected Present	Known Present	Pollutant
✓			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

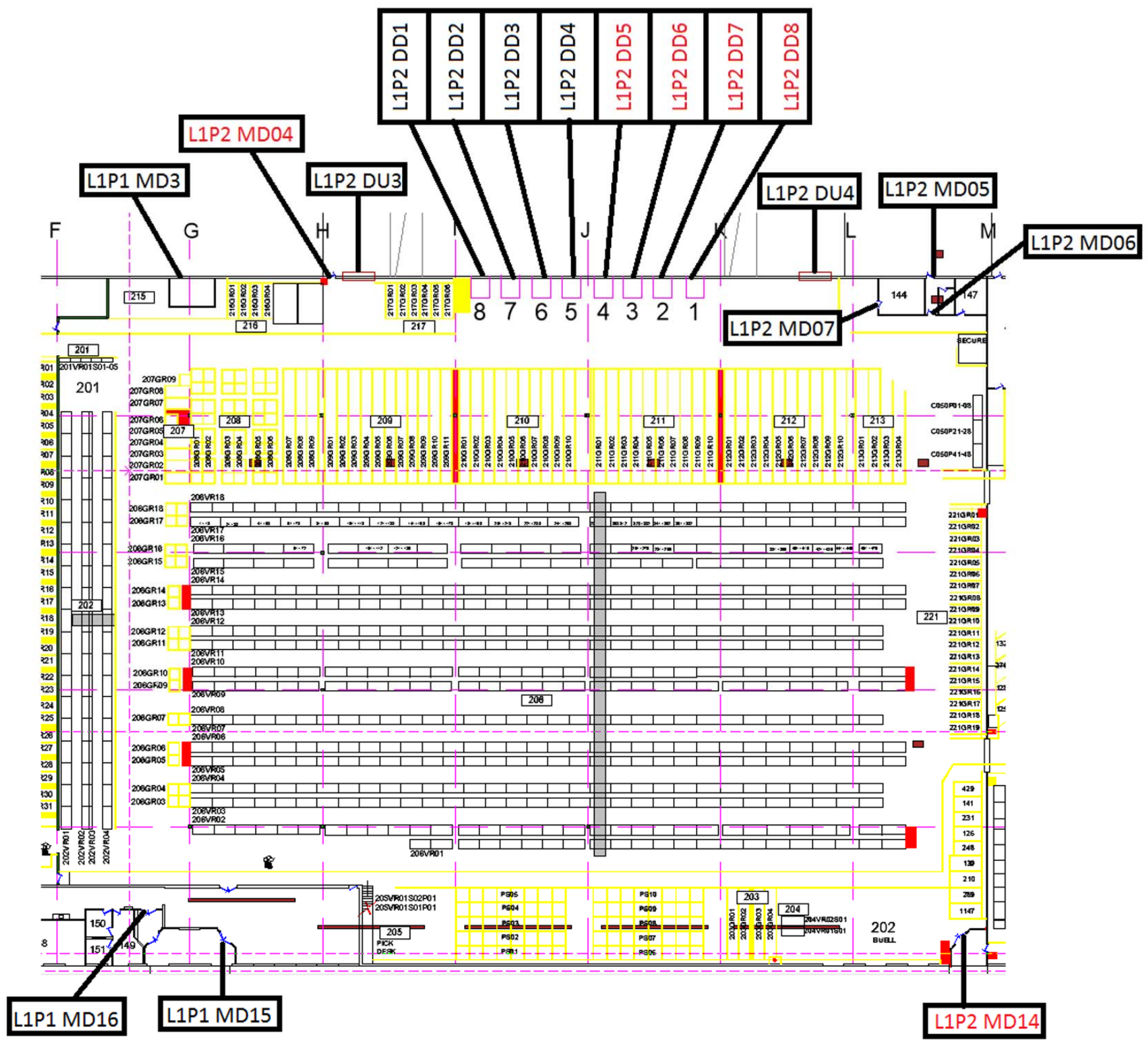












202 racking = 591 positions
 206 racking = 4,227 positions

301 racking = 1,624 positions

